

We encourage everyone to view the meeting live via YouTube.

***Leavenworth County  
Board of County Commissioners***

***Regular Meeting Agenda***  
300 Walnut Street, Suite 225  
Leavenworth, KS 66048  
January 24, 2024  
9:00 a.m.

- I. CALL TO ORDER
- II. PLEDGE OF ALLEGIANCE/MOMENT OF SILENT PRAYER
- III. ROLL CALL
- IV. PUBLIC COMMENT: Public Comment shall be limited to 15 minutes at the beginning of each meeting and limited to three minutes per person. Anyone wishing to make comments either on items on the agenda or not are encouraged to provide their comments in writing no later than 8:00 AM the Monday immediately preceding the meeting. These comments will be included in the agenda packet for everyone to access and review. This allows the Commission to have time to fully consider input and request follow up if needed prior to the meeting.
- V. ADMINISTRATIVE BUSINESS:
- VI. CONSENT AGENDA: The items on the Consent Agenda are considered by staff to be routine business items. Approval of the items may be made by a single motion, seconded, and a majority vote with no separate discussion of any item listed. Should a member of the Governing Body desire to discuss any item, it will be removed from the Consent Agenda and considered separately.
  - a) Approval of the minutes of the meeting of January 17, 2023
  - b) Approval of the schedule for the week January 29, 2024
  - c) Approval of the check register
  - d) Approve and sign the OCB's

VII. FORMAL BOARD ACTION:

a) Consider a motion to appoint Jessica Pontbriant to the Wyandotte/Leavenworth Areawide Advisory Council representing Leavenworth County Council on Aging.

b) Consider a motion that the proposed final plat as outlined in Case DEV-23-149, Novo-Gradac Acres, be approved with conditions, that the plat is compliant with the County Zoning and Subdivision Regulations, as set forth in the staff report, as adopted by the Planning Commission and as substantiated by the facts, testimony and evidence presented, be accepted by this Board and that the conditions set forth in the staff report be made part of this approval.

c) Consider a motion to approve a letter of support to add Miami County, Kansas into the Regional Economic Development Administration District as a region served by the Mid-America Regional Council.

VIII. PRESENTATIONS AND DISCUSSION ITEMS: presentations are materials of general concern where no action or vote is requested or anticipated.

a) Quarterly reports

- Economic Development
- Public Works

IX. ADJOURNMENT

# LEAVENWORTH COUNTY COMMISSIONERS MEETING SCHEDULE

## Monday, January 22, 2024

6:30 p.m.      Rose Dinner  
• 1866 Restaurant, 416 E. 4<sup>th</sup> St., Tonganoxie, KS

## Tuesday, January 23, 2024

9:45 a.m.      Workforce Partnership CEOB meeting via Zoom

12:00 p.m.     MARC meeting

## Wednesday, January 24, 2024

9:00 a.m.      Leavenworth County Commission meeting  
• Commission Meeting Room, 300 Walnut, Leavenworth KS

11:00 a.m.     Annual Legislative Action Day  
• Topeka Country Club, 2700 SW Buchanan St., Topeka, KS

1:00 p.m.      2024 Local Government Day  
• The Beacon, 420 SW 9<sup>th</sup> St., Topeka, KS 66612

## Thursday, January 25, 2024

## Friday, January 26, 2024

ALL SUCH OTHER BUSINESS THAT MAY COME BEFORE THE COMMISSION

ALL MEETINGS ARE OPEN TO THE PUBLIC

COMMENTS SHOULD BE OF GENERAL INTEREST OF THE PUBLIC AND SUBJECT TO THE RULES OF DECORUM

\*\*\*\*\*January 17, 2024\*\*\*\*\*

The Board of County Commissioners met in a regular session on Wednesday, January 17, 2024. Commissioner Mike Smith, Commissioner Doug Smith and Commissioner Stieben are present; Commissioners Kaaz and Culbertson are absent; Also present: Mark Loughry, County Administrator; David Van Parys, Senior County Counselor; Connie Harmon, Council on Aging Director; Monica Swigart, Human Resources Administrator; Aaron Yoakam, Building and Grounds Director; Bill Noll, Infrastructure and Construction Services; Edd Hingula, Leavenworth City Commissioner; John Richmeier, Leavenworth Times

Residents:

PUBLIC COMMENT:

There were no public comments.

ADMINISTRATIVE BUSINESS:

***A motion was made by Commissioner Doug Smith and seconded by Commissioner Stieben to appoint Mike Smith as temporary chairperson.***

***Motion passed, 3-0.***

Commissioner Stieben requested a review of the 2023 carryover budget.

***A motion was made by Commissioner Doug Smith and seconded by Commissioner Stieben to accept the consent agenda for Wednesday, January 17, 2024.***

***Motion passed, 3-0.***

David Van Parys presented an amended Water Main Line Relocation agreement with Rural Water District #9.

***A motion was made by Commissioner Stieben and seconded by Commissioner Mike Smith to approve the water line relocation agreement with Rural Water District #9 as modified for the Tonganoxie Road improvement project.***

***Motion passed, 2-1 Commissioner Doug Smith abstained.***

Bill Noll presented an agreement with KDOT for the High-Risk Rural Roads grant.

***A motion was made by Commissioner Doug Smith and seconded by Commissioner Stieben to approve the agreement for KDOT High Risk Rural Roads grant for the project awarded north of Stranger Creek on Tonganoxie Road.***

***Motion passed, 3-0.***

Mr. Noll presented a contract with Finney and Turnipseed for design engineering for replacement of bridges SH-54 and SH-61 on Golden Road.

***A motion was made by Commissioner Stieben and seconded by Commissioner Doug Smith to approve a contract with Finney and Turnipseed for a preliminary design engineering for replacement of bridges SH-54 and SH-61 on Golden Road as part of the Kansas Local Bridge Improvement program grant in the amount of \$142,870.00.***

***Motion passed, 3-0.***

Monica Swigart presented the quarterly report for Human Resources.

Connie Harmon presented the quarterly report for Council on Aging.

Aaron Yoakam presented the quarterly report for Building and Grounds.

***A motion was made by Commissioner Doug Smith and seconded by Commissioner Stieben that the Board recess for a closed executive meeting for the discussion of potential litigation involving the legal interests of the County as justified by K.S.A. 75-4319(B)(2) for consultation with legal counsel for the Board which would be deemed privileged in the attorney/client relationship and that Board resume open meeting at 10:30 a.m. in the meeting room of the Board. Present in the executive meeting will be Commissioners Doug Smith, Mike Smith and Mike Stieben, Senior County Counselor David Van Parys and County Administrator Mark Loughry and others that may be called by the Board.***

***Motion passed, 3-0.***

The Board returned to regular session at 10:30 a.m. No action was taken and no decisions were made. The subject was limited to the legal interests of the county.

Commissioner Mike Smith will attend the LCDC Annual Meeting this Friday.

Commissioner Stieben testified last week in Topeka about LAVTR. He met with citizens at the Linwood Library last week to discuss various topics to include taxes and open borders. He suggested to draft a letter to congressional representative to take action on the open borders. He will be hosting a dinner on Monday for the anniversary of Roe vs. Wade and requested that to be placed on the agenda.

Commissioner Doug Smith reported Representative Tim Johnson presented a bill on water districts bidding projects.

Commissioner Stieben indicated January 24, 2024 will be Local Government Day in Topeka.

Mark Loughry spoke about the tax relief bill being proposed in Topeka.

***A motion was made by Commissioner Doug Smith and seconded by Commissioner Mike Smith to adjourn.***

***Motion passed, 3-0.***

The Board adjourned at 10:42 a.m.

# **LEAVENWORTH COUNTY COMMISSIONERS MEETING SCHEDULE**

**Monday, January 29, 2024**

**Tuesday, January 30, 2024**

**Wednesday, January 31, 2024**

9:00 a.m.      Leavenworth County Commission meeting  
• Commission Meeting Room, 300 Walnut, Leavenworth KS

**Thursday, February 1, 2024**

**Friday, February 2, 2024**

ALL SUCH OTHER BUSINESS THAT MAY COME BEFORE THE COMMISSION

ALL MEETINGS ARE OPEN TO THE PUBLIC

COMMENTS SHOULD BE OF GENERAL INTEREST OF THE PUBLIC AND SUBJECT TO THE RULES OF DECORUM

START DATE: 01/13/2024 END DATE: 01/19/2024

TYPES OF CHECKS SELECTED: \* ALL TYPES

			P.O.NUMBER	CHECK#					
20588	ADVANTAGE	ADVANTAGE PRINTING	338920	106583 AP	01/19/2024	4-001-5-49-340	ACCT 108- BALLOT STOCK, CARRIE	4,701.21	
20588	ADVANTAGE	ADVANTAGE PRINTING	338920	106583 AP	01/19/2024	4-001-5-49-343	ACCT 108- BALLOT STOCK, CARRIE	3,482.60	
20588	ADVANTAGE	ADVANTAGE PRINTING	338920	106583 AP	01/19/2024	4-001-5-49-345	ACCT 108- BALLOT STOCK, CARRIE	660.00	
20588	ADVANTAGE	ADVANTAGE PRINTING	338920	106583 AP	01/19/2024	4-001-5-49-345	ACCT 108- BALLOT STOCK, CARRIE	1,521.60	
20588	ADVANTAGE	ADVANTAGE PRINTING	338920	106583 AP	01/19/2024	4-001-5-49-345	ACCT 108- BALLOT STOCK, CARRIE	3,578.28	
							*** VENDOR	20588 TOTAL	13,943.69
22369	BAMFORD FI	BAMFORD FIRE SPRINKLER	338923	106586 AP	01/19/2024	4-001-5-33-209	CUSHING SVC CALL	544.62	
401	BIRINGERS	BIRINGERS SHOP AND SERVICE	338924	106587 AP	01/19/2024	4-001-5-31-290	SVC CALL - KEYS TREAS/MAINT RO	18.00	
401	BIRINGERS	BIRINGERS SHOP AND SERVICE	338924	106587 AP	01/19/2024	4-001-5-31-294	SVC CALL - KEYS TREAS/MAINT RO	34.00	
							*** VENDOR	401 TOTAL	52.00
36	CAHILL PAT	PATRICK J CAHILL	338925	106588 AP	01/19/2024	4-001-5-09-231	COURT APPOINTED ATTORNEY	3,000.00	
25101	CANON U S	CANON U S A INC	338926	106589 AP	01/19/2024	4-001-5-19-204	1865950 DIST CT COPIER CLICKS	275.50	
362	CASAD BENJAMIN	BENJAMIN CASAD	338927	106590 AP	01/19/2024	4-001-5-09-231	COURT APPOINTED ATTORNEY	3,000.00	
5637	CLEARWATER ENTERPRIS	CLEARWATER ENTERPRISES,LLC	338928	106591 AP	01/19/2024	4-001-5-14-220	20612-1201903995 GAS TRANSPORT	1,590.05	
5637	CLEARWATER ENTERPRIS	CLEARWATER ENTERPRISES,LLC	338928	106591 AP	01/19/2024	4-001-5-32-392	20642-1201929650 GAS TRANSPORT	3,039.05	
							*** VENDOR	5637 TOTAL	4,629.10
22543	COMPLETE FAMILY CARE	COMPLETE FAMILY CARE	338930	106593 AP	01/19/2024	4-001-5-05-201	EMS MEDICAL DIRECTOR	1,250.00	
516725	ENTERPRISE (ACH)	ENTERPRISE FM TRUST	338908	81	01/17/2024	4-001-5-05-271	516725A FBN4927278 JANUARY VEH	1,773.69	
516725	ENTERPRISE (ACH)	ENTERPRISE FM TRUST	338908	81	01/17/2024	4-001-5-06-222	516725A FBN4927278 JANUARY VEH	39.40	
516725	ENTERPRISE (ACH)	ENTERPRISE FM TRUST	338908	81	01/17/2024	4-001-5-11-253	516725A FBN4927278 JANUARY VEH	413.25	
516725	ENTERPRISE (ACH)	ENTERPRISE FM TRUST	338908	81	01/17/2024	4-001-5-31-230	516725A FBN4927278 JANUARY VEH	1,378.02	
516725	ENTERPRISE (ACH)	ENTERPRISE FM TRUST	338908	81	01/17/2024	4-001-5-41-271	516725A FBN4927278 JANUARY VEH	951.92	
516725	ENTERPRISE (ACH)	ENTERPRISE FM TRUST	338908	81	01/17/2024	4-001-5-53-220	516725A FBN4927278 JANUARY VEH	1,551.56	
							*** VENDOR	516725 TOTAL	6,107.84
605	FLEET HOSTER	FLEET HOSTER LLC	338931	106594 AP	01/19/2024	4-001-5-05-271	FEBRUARY CAMERA CHARGES	220.00	
605	FLEET HOSTER	FLEET HOSTER LLC	338931	106594 AP	01/19/2024	4-001-5-06-222	FEBRUARY CAMERA CHARGES	19.95	
605	FLEET HOSTER	FLEET HOSTER LLC	338931	106594 AP	01/19/2024	4-001-5-11-253	FEBRUARY CAMERA CHARGES	19.95	
605	FLEET HOSTER	FLEET HOSTER LLC	338931	106594 AP	01/19/2024	4-001-5-31-230	FEBRUARY CAMERA CHARGES	59.85	
605	FLEET HOSTER	FLEET HOSTER LLC	338931	106594 AP	01/19/2024	4-001-5-41-271	FEBRUARY CAMERA CHARGES	120.00	
605	FLEET HOSTER	FLEET HOSTER LLC	338931	106594 AP	01/19/2024	4-001-5-53-220	FEBRUARY CAMERA CHARGES	99.75	
							*** VENDOR	605 TOTAL	539.50
656	FLOYD, JAMES	JAMES ANTWONE FLOYD	338932	106595 AP	01/19/2024	4-001-5-09-231	COURT APPOINTED ATTORNEY	3,000.00	
243	GEOTAB	GEOTAB USA INC	338933	106596 AP	01/19/2024	4-001-5-05-271	DECEMBER GEOLOCATING SVCS	207.57	
243	GEOTAB	GEOTAB USA INC	338933	106596 AP	01/19/2024	4-001-5-06-222	DECEMBER GEOLOCATING SVCS	16.33	
243	GEOTAB	GEOTAB USA INC	338933	106596 AP	01/19/2024	4-001-5-11-253	DECEMBER GEOLOCATING SVCS	16.33	
243	GEOTAB	GEOTAB USA INC	338933	106596 AP	01/19/2024	4-001-5-31-230	DECEMBER GEOLOCATING SVCS	48.99	
243	GEOTAB	GEOTAB USA INC	338933	106596 AP	01/19/2024	4-001-5-41-271	DECEMBER GEOLOCATING SVCS	97.98	
243	GEOTAB	GEOTAB USA INC	338933	106596 AP	01/19/2024	4-001-5-53-220	DECEMBER GEOLOCATING SVCS	81.65	
							*** VENDOR	243 TOTAL	468.85
23435	GUIDANCE C	THE GUIDANCE CENTER	338934	106597 AP	01/19/2024	4-001-5-29-201	PER 2024 LEAV CO BUDGET	72,809.25	
23435	GUIDANCE C	THE GUIDANCE CENTER	338934	106597 AP	01/19/2024	4-001-5-29-201	PER 2024 LEAV CO BUDGET	72,809.25	
23435	GUIDANCE C	THE GUIDANCE CENTER	338934	106597 AP	01/19/2024	4-001-5-29-201	PER 2024 LEAV CO BUDGET	72,809.25	
23435	GUIDANCE C	THE GUIDANCE CENTER	338934	106597 AP	01/19/2024	4-001-5-29-201	PER 2024 LEAV CO BUDGET	72,809.25	
							*** VENDOR	23435 TOTAL	291,237.00
1941	HALLEY	LAW OFFICE OF E ELAINE HALLEY	338935	106598 AP	01/19/2024	4-001-5-09-231	COURT APPOINTED ATTORNEY	3,000.00	
4473	HART'S COO	HART'S COOK PAINT & DECORATING	338936	106599 AP	01/19/2024	4-001-5-07-359	JAIL MAINTENANCE 4824	77.58	
236	INTERPRETERS	INTERPRETERS INC	338937	106600 AP	01/19/2024	4-001-5-19-221	INTERPRETER DIST CT 1/5/24 202	161.92	
7655	J F DENNEY P	J F DENNEY PLUMBING & HEATING	338938	106601 AP	01/19/2024	4-001-5-31-297	725 LAMING SVC CALL - SHOP FUR	198.34	
6636	KANSAS GAS	KANSAS GAS SERVICE	338939	106602 AP	01/19/2024	4-001-5-05-215	510614745 2015657 27 GAS TRANS	202.48	
1842	KONE INC	KONE INC	338941	106604 AP	01/19/2024	4-001-5-31-220	N40131062 ELEVATOR MAINT DEC	129.86	
1842	KONE INC	KONE INC	338941	106604 AP	01/19/2024	4-001-5-32-262	N40131062 ELEVATOR MAINT DEC	519.46	
1842	KONE INC	KONE INC	338941	106604 AP	01/19/2024	4-001-5-33-262	N40131062 ELEVATOR MAINT DEC	1,179.86	

START DATE: 01/13/2024 END DATE: 01/19/2024

TYPES OF CHECKS SELECTED: \* ALL TYPES

		P.O.NUMBER	CHECK#						
							*** VENDOR	1842 TOTAL	1,829.18
220	LEAV CO EX	LEAVENWORTH COUNTY EXTENSION	338906	106579 AP	01/17/2024	4-001-5-25-220	PER 2024 LEAV CO BUDGET	66,259.00	
4579	LEAV CO FA	LEAV CO FAIR ASSN LEAVENWORTH	338907	106580 AP	01/17/2024	4-001-5-25-201	PER 2024 LEAV CO BUDGET	12,500.00	
4755	LEAV PAPER	LEAVENWORTH PAPER AND OFFICE S	338942	106605 AP	01/19/2024	4-001-5-19-301	DIST CT CLERK OFFICE SUPPLIES	1,246.52	
4755	LEAV PAPER	LEAVENWORTH PAPER AND OFFICE S	338942	106605 AP	01/19/2024	4-001-5-19-301	RECEIPT BOOKS (4) DIST CT CLER	22.60	
4755	LEAV PAPER	LEAVENWORTH PAPER AND OFFICE S	338942	106605 AP	01/19/2024	4-001-5-19-301	DIST CT CSO OFFICE SUPPLIES	1,885.28	
							*** VENDOR	4755 TOTAL	3,154.40
537	LEAV TIMES	CHERRYROAD MEDIA INC	338943	106606 AP	01/19/2024	4-001-5-19-217	24156 DIST CT LEGAL NOTICE 23J	40.74	
537	LEAV TIMES	CHERRYROAD MEDIA INC	338943	106606 AP	01/19/2024	4-001-5-19-217	24156 DIST CT LEGAL NOTICE 21J	43.14	
							*** VENDOR	537 TOTAL	83.88
17677	LEXISNEXIS RISK DATA	LEXISNEXIS RISK DATA MGMT (ACC	338944	106607 AP	01/19/2024	4-001-5-09-203	DEC 2023 MINIMUM COMMITMENT (M	50.00	
2059	MIDWEST OFFICE TECH	MIDWEST OFFICE TECHNOLOGY INC	338945	106608 AP	01/19/2024	4-001-5-02-304	OPL303_K COUNTY CLERK'S COPIES	24.49	
2059	MIDWEST OFFICE TECH	MIDWEST OFFICE TECHNOLOGY INC	338945	106608 AP	01/19/2024	4-001-5-07-208	LC00_K COPIES (DETECTIVES)	43.53	
							*** VENDOR	2059 TOTAL	68.02
458	ROAD & BRIDGE	LEAV CO PUBLIC WORKS	338948	106611 AP	01/19/2024	4-001-5-07-213	SHERIFF GASOLINE/VEH MAINT	308.03	
458	ROAD & BRIDGE	LEAV CO PUBLIC WORKS	338948	106611 AP	01/19/2024	4-001-5-14-332	SHERIFF GASOLINE/VEH MAINT	1,091.47	
458	ROAD & BRIDGE	LEAV CO PUBLIC WORKS	338948	106611 AP	01/19/2024	4-001-5-14-332	SHERIFF GASOLINE/VEH MAINT	131.35	
458	ROAD & BRIDGE	LEAV CO PUBLIC WORKS	338948	106611 AP	01/19/2024	4-001-5-14-333	BG FUEL	159.52	
							*** VENDOR	458 TOTAL	1,690.37
261	TELEFLEX	TELEFLEX FUNDING LLC	338949	106612 AP	01/19/2024	4-001-5-05-381	1239536 EZ-IO NEEDLE	1,665.50	
22972	TRANSFER STATION	TRANSFER STATION	338950	106613 AP	01/19/2024	4-001-5-31-290	ACCT 158: CONSTRUCITON AND STA	224.00	
479	WERRING	FARRIS,FRESH,& WERRING LAW OFF	338952	106615 AP	01/19/2024	4-001-5-09-231	COURT APPOINTED ATTORNEY 22JC1	396.00	
479	WERRING	FARRIS,FRESH,& WERRING LAW OFF	338952	106615 AP	01/19/2024	4-001-5-09-231	COURT APPOINTED ATTORNEY 22JC1	180.00	
479	WERRING	FARRIS,FRESH,& WERRING LAW OFF	338952	106615 AP	01/19/2024	4-001-5-09-231	COURT APPOINTED ATTORNEY 22JC1	17.40	
							*** VENDOR	479 TOTAL	593.40
							TOTAL FUND 001		419,806.17
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22543	COMPLETE FAMILY CARE	COMPLETE FAMILY CARE	338930	106593 AP	01/19/2024	4-108-5-00-280	HEALTH DEPT MED DIRECTOR/WELL	1,200.00	
22543	COMPLETE FAMILY CARE	COMPLETE FAMILY CARE	338930	106593 AP	01/19/2024	4-108-5-00-280	HEALTH DEPT MED DIRECTOR/WELL	300.00	
							*** VENDOR	22543 TOTAL	1,500.00
							TOTAL FUND 108		1,500.00
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385	CNH INDUSTRIAL	CNH INDUSTRIAL CAPITAL AMERICA	338903	106576 AP	01/17/2024	4-115-5-00-418	2223213 LEASE PMT 3 BACKHOES	3,478.38	
385	CNH INDUSTRIAL	CNH INDUSTRIAL CAPITAL AMERICA	338903	106576 AP	01/17/2024	4-115-5-00-418	2223213 LEASE PMT 3 BACKHOES	3,478.38	
385	CNH INDUSTRIAL	CNH INDUSTRIAL CAPITAL AMERICA	338903	106576 AP	01/17/2024	4-115-5-00-418	2223213 LEASE PMT 3 BACKHOES	3,478.38	
385	CNH INDUSTRIAL	CNH INDUSTRIAL CAPITAL AMERICA	338903	106576 AP	01/17/2024	4-115-5-00-418	2223213 LEASE PMT 3 BACKHOES	3,478.38	
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385	CNH INDUSTRIAL	CNH INDUSTRIAL CAPITAL AMERICA	338903	106576 AP	01/17/2024	4-115-5-00-418	2223213 LEASE PMT 3 BACKHOES	3,478.38	
385	CNH INDUSTRIAL	CNH INDUSTRIAL CAPITAL AMERICA	338903	106576 AP	01/17/2024	4-115-5-00-418	2223213 LEASE PMT 3 BACKHOES	3,478.38	
							*** VENDOR	385 TOTAL	41,740.56
							TOTAL FUND 115		41,740.56
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516725	ENTERPRISE (ACH)	ENTERPRISE FM TRUST	338908	81	01/17/2024	4-126-5-00-221	516725A FBN4927278 JANUARY VEH	14.77	
605	FLEET HOSTER	FLEET HOSTER LLC	338931	106594 AP	01/19/2024	4-126-5-00-221	FEBRUARY CAMERA CHARGES	20.00	
243	GEOTAB	GEOTAB USA INC	338933	106596 AP	01/19/2024	4-126-5-00-221	DECEMBER GEOLOCATING SVCS	16.33	
							TOTAL FUND 126		51.10
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START DATE: 01/13/2024 END DATE: 01/19/2024

TYPES OF CHECKS SELECTED: \* ALL TYPES

			P.O.NUMBER	CHECK#					
5637	CLEARWATER ENTERPRIS	CLEARWATER ENTERPRISES,LLC	338928	106591 AP	01/19/2024	4-133-5-00-304	20642-5600012312 GAS TRANSPORT	471.60	
516725	ENTERPRISE (ACH)	ENTERPRISE FM TRUST	338908	81	01/17/2024	4-133-5-00-229	516725A FBN4927278 JANUARY VEH	8,647.92	
605	FLEET HOSTER	FLEET HOSTER LLC	338931	106594 AP	01/19/2024	4-133-5-00-229	FEBRUARY CAMERA CHARGES	878.50	
243	GEOTAB	GEOTAB USA INC	338933	106596 AP	01/19/2024	4-133-5-00-229	DECEMBER GEOLOCATING SVCS	1,016.11	
8028	POWERPLAN	MURPHY TRACTOR & EQUIP CO	338946	106609 AP	01/19/2024	4-133-5-00-214	1-13 MONTHLY TOILET RENTAL	220.00	
8028	POWERPLAN	MURPHY TRACTOR & EQUIP CO	338946	106609 AP	01/19/2024	4-133-5-00-214	1-13 MONTHLY TOILET RENTAL	110.00	
							*** VENDOR 8028 TOTAL		330.00
							TOTAL FUND 133		11,344.13
-----									
516725	ENTERPRISE (ACH)	ENTERPRISE FM TRUST	338908	81	01/17/2024	4-136-5-00-221	516725A FBN4927278 JANUARY VEH	39.77	
605	FLEET HOSTER	FLEET HOSTER LLC	338931	106594 AP	01/19/2024	4-136-5-00-221	FEBRUARY CAMERA CHARGES	40.00	
243	GEOTAB	GEOTAB USA INC	338933	106596 AP	01/19/2024	4-136-5-00-221	DECEMBER GEOLOCATING SVCS	32.66	
							TOTAL FUND 136		112.43
-----									
605	FLEET HOSTER	FLEET HOSTER LLC	338931	106594 AP	01/19/2024	4-137-5-00-229	FEBRUARY CAMERA CHARGES	299.85	
243	GEOTAB	GEOTAB USA INC	338933	106596 AP	01/19/2024	4-137-5-00-229	DECEMBER GEOLOCATING SVCS	283.05	
							TOTAL FUND 137		582.90
-----									
2621	CAFE	TERRY BOOKER	338902	106575 AP	01/17/2024	4-145-5-00-256	MEALS RESERVED 1/1 - 1/23 (AND	11,602.50	
2621	CAFE	TERRY BOOKER	338902	106575 AP	01/17/2024	4-145-5-00-256	MEALS RESERVED 1/1 - 1/23 (AND	11,609.00	
2621	CAFE	TERRY BOOKER	338902	106575 AP	01/17/2024	4-145-5-00-256	MEALS RESERVED 1/1 - 1/23 (AND	2,665.00	
							*** VENDOR 2621 TOTAL		25,876.50
559	COBURNCO LLC	CLAY E COBURN III	338929	106592 AP	01/19/2024	4-145-5-00-213	CO ON AGING VEHICLE FLEET WASH	42.00	
516725	ENTERPRISE (ACH)	ENTERPRISE FM TRUST	338908	81	01/17/2024	4-145-5-00-230	516725A FBN4927278 JANUARY VEH	16,292.81	
605	FLEET HOSTER	FLEET HOSTER LLC	338931	106594 AP	01/19/2024	4-145-5-00-230	FEBRUARY CAMERA CHARGES	598.75	
243	GEOTAB	GEOTAB USA INC	338933	106596 AP	01/19/2024	4-145-5-00-230	DECEMBER GEOLOCATING SVCS	538.89	
4755	LEAV PAPER	LEAVENWORTH PAPER AND OFFICE S	338942	106605 AP	01/19/2024	4-145-5-00-345	CO ON AGING CONSUMABES (C1)	51.00	
4755	LEAV PAPER	LEAVENWORTH PAPER AND OFFICE S	338942	106605 AP	01/19/2024	4-145-5-05-301	CO ON AGING CONSUMABES (C1)	21.00	
4755	LEAV PAPER	LEAVENWORTH PAPER AND OFFICE S	338942	106605 AP	01/19/2024	4-145-5-07-302	CO ON AGING CONSUMABES (C1)	3.00	
							*** VENDOR 4755 TOTAL		75.00
							TOTAL FUND 145		43,423.95
-----									
20588	ADVANTAGE	ADVANTAGE PRINTING	338920	106583 AP	01/19/2024	4-147-5-00-3	COA RETIREMENT INVITES & ENVEL	210.00	
							TOTAL FUND 147		210.00
-----									
243	GEOTAB	GEOTAB USA INC	338933	106596 AP	01/19/2024	4-153-5-00-3	1-1 LEAV01 GO RUGGED 9 GPS UNI	490.00	
243	GEOTAB	GEOTAB USA INC	338933	106596 AP	01/19/2024	4-153-5-00-3	1-1 LEAV01 GO RUGGED 9 GPS UNI	490.00	
243	GEOTAB	GEOTAB USA INC	338933	106596 AP	01/19/2024	4-153-5-00-3	1-1 LEAV01 GO RUGGED 9 GPS UNI	115.00	
							*** VENDOR 243 TOTAL		115.00
							TOTAL FUND 153		115.00
-----									
7158	A-1 RENTAL	A-1 RENTAL	338918	106581 AP	01/19/2024	4-160-5-00-263	SOLID WASTE - TOILET RENTAL	110.00	
516725	ENTERPRISE (ACH)	ENTERPRISE FM TRUST	338908	81	01/17/2024	4-160-5-00-215	516725A FBN4927278 JANUARY VEH	35.00	
605	FLEET HOSTER	FLEET HOSTER LLC	338931	106594 AP	01/19/2024	4-160-5-00-215	FEBRUARY CAMERA CHARGES	99.85	
243	GEOTAB	GEOTAB USA INC	338933	106596 AP	01/19/2024	4-160-5-00-215	DECEMBER GEOLOCATING SVCS	81.65	
9271	LANSING CI	CITY OF LANSING	338905	106578 AP	01/17/2024	4-160-5-00-210	SOLID WASTE WATER SVC	27.90	
537	LEAV TIMES	CHERRYROAD MEDIA INC	338943	106606 AP	01/19/2024	4-160-5-00-201	21254 SOLID WASTE RATE/COMMERC	32.40	
537	LEAV TIMES	CHERRYROAD MEDIA INC	338943	106606 AP	01/19/2024	4-160-5-00-201	21254 SOLID WASTE RATE/COMMERC	32.40	
							*** VENDOR 537 TOTAL		64.80
							TOTAL FUND 160		419.20
-----									
2138	ABSOLUTE COMFORT TEC	ABSOLUTE COMFORT TECHNOLOGIES	338919	106582 AP	01/19/2024	4-174-5-00-210	I-70 TOWER SITE MAINT TO GENER	395.00	

TYPES OF CHECKS SELECTED: \* ALL TYPES

			P.O.NUMBER	CHECK#						
8020	APCO INT'L	APCO INTERNATIONAL	338922	106585 AP	01/19/2024	4-174-5-00-202	CTO 6TH ED RECERT 69962 A D MA	30.00		
							TOTAL FUND 174			425.00
5637	CLEARWATER ENTERPRIS	CLEARWATER ENTERPRISES,LLC	338928	106591 AP	01/19/2024	4-195-5-00-290	20642-0321A774932312 GAS TRANS	111.22		
							TOTAL FUND 195			111.22
1867	REDWOOD TOXICOLOGY	REDWOOD TOXICOLOGY LABORATORY	338947	106610 AP	01/19/2024	4-196-5-00-201	CONFIRMATION TESTS ACCT 112368	130.41		
							TOTAL FUND 196			130.41
1851	KANSAS ONE-CALL SYST	KANSAS ONE-CALL SYSTEM INC	338940	106603 AP	01/19/2024	4-210-5-00-2	08-LVPWD01 1 LOCATE	1.20		
							TOTAL FUND 210			1.20
86	EVERGY	EVERGY KANSAS CENTRAL INC	338904	106577 AP	01/17/2024	4-212-5-00-2	ELEC SVC SEWER DIST 2	245.10		
86	EVERGY	EVERGY KANSAS CENTRAL INC	338904	106577 AP	01/17/2024	4-212-5-00-2	ELEC SVC SEWER DIST 2	43.52		
86	EVERGY	EVERGY KANSAS CENTRAL INC	338904	106577 AP	01/17/2024	4-212-5-00-2	ELEC SVC SEWER DIST 2	30.97		
86	EVERGY	EVERGY KANSAS CENTRAL INC	338904	106577 AP	01/17/2024	4-212-5-00-2	ELEC SVC SEWER DIST 2	81.97		
							*** VENDOR		86 TOTAL	401.56
							TOTAL FUND 212			401.56
86	EVERGY	EVERGY KANSAS CENTRAL INC	338904	106577 AP	01/17/2024	4-218-5-00-2	ELEC SVC SEWER DIST 5	146.77		
							TOTAL FUND 218			146.77
760	AETNA VOL	AETNA LIFE INSURANCE COMPANY	338921	106584 AP	01/19/2024	4-510-2-00-958	A5905-0001 JANUARY PREMIUMS VO	2,470.47		
760	AETNA VOL	AETNA LIFE INSURANCE COMPANY	338921	106584 AP	01/19/2024	4-510-2-00-958	A5905-0001 JANUARY PREMIUMS VO	3,182.43		
760	AETNA VOL	AETNA LIFE INSURANCE COMPANY	338921	106584 AP	01/19/2024	4-510-2-00-958	A5905-0001 JANUARY PREMIUMS VO	2,052.16		
							*** VENDOR		760 TOTAL	7,705.06
353	UNITED WAY	UNITED WAY OF LEAVENWORTH COUN	338951	106614 AP	01/19/2024	4-510-2-00-905	EMPLOYEE CONTRIBUTIONS	29.00		
353	UNITED WAY	UNITED WAY OF LEAVENWORTH COUN	338951	106614 AP	01/19/2024	4-510-2-00-905	EMPLOYEE CONTRIBUTIONS	29.00		
							*** VENDOR		353 TOTAL	58.00
							TOTAL FUND 510			7,763.06
							TOTAL ALL CHECKS			528,284.66

TYPES OF CHECKS SELECTED: \* ALL TYPES

FUND SUMMARY

001	GENERAL	419,806.17
108	COUNTY HEALTH	1,500.00
115	EQUIPMENT RESERVE	41,740.56
126	COMM CORR ADULT	51.10
133	ROAD & BRIDGE	11,344.13
136	COMM CORR JUVENILE	112.43
137	LOCAL SERVICE ROAD & BRIDGE	582.90
145	COUNCIL ON AGING	43,423.95
147	MEMORIALS (COA)	210.00
153	PUBLIC WORKS,EQUIP.RESERVE FUND	115.00
160	SOLID WASTE MANAGEMENT	419.20
174	911	425.00
195	JUVENILE DETENTION	111.22
196	DRUG TEST & SUPERVISION FEES	130.41
210	SEWER DISTRICT 1: HIGH CREST	1.20
212	SEWER DISTRICT 2: TIMBERLAKES	401.56
218	SEWER DIST #5	146.77
510	PAYROLL CLEARING	7,763.06
	TOTAL ALL FUNDS	528,284.66

Consent Agenda 1/24/2024  
Checks 1/13 - 1/19

\_\_\_\_\_  
\_\_\_\_\_

# Leavenworth County Request for Board Action

**Date:** January 24, 2024

**To:** Board of County Commissioners

**From:** Connie Harmon, Director

**Department Head Approval:** Connie Harmon

**Additional Reviews as needed:**

**Budget Review**  **Administrator Review**  **Legal Review**

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**Action Requested:** Appointment of Jessica Pontbriant to the Wyandotte/Leavenworth Areawide Advisory Council representing the Leavenworth County Council on Aging.

**Recommendation:** It is recommended that Ms. Pontbriant is appointed.

**Analysis:** Ms. Pontbriant is an active member of the Leavenworth County community and has a keen interest in serving local seniors and addressing issues impacting the aging population.

**Alternatives:** Approve or deny

**Budgetary Impact:**

- Not Applicable
- Budgeted item with available funds
- Non-Budgeted item with available funds through prioritization
- Non-Budgeted item with additional funds requested

**Total Amount Requested:** N/A

**Additional Attachments:** WY/LVCO Advisory Board Application



Live Well.  
Age Well.

## Leavenworth County

### Council on Aging

711 Marshall Street, Suite 100

Leavenworth, KS 66048

Phone: 913.684.0777 Fax: 913.684.0779

Email: [seniors1st@leavenworthcounty.gov](mailto:seniors1st@leavenworthcounty.gov)

## Advisory Board Application

On behalf of the *Leavenworth County Council on Aging* thank you so much for your interest in board service. We know that those with an interest in being a leadership volunteer have many choices. In our community, there are an array of remarkable organizations engaged in the important work of making our world a better place. We are humbled knowing that you are interested in us.

The following application offers us an opportunity to know more about you, your skills, attributes and what you would bring to our board. It also gives you a sense of what matters to us in any board candidate.

The goal of our process is to determine if we are a good fit for each other – your level of commitment and ability to deliver on our expectations so that we are confident that you can help us to increase the scope and impact of our work. On the other side, we want to know what motivates you and how you think about our organization so that we can help to create an excellent board experience for you.

Thank you again for your interest in our work and for taking the time to complete this application with thought and care. We look forward to reviewing it with that same level of thought and care and to continuing our conversations. Please return your completed application in person or by mail to Connie Harmon, Director or by email at [charmon@leavenworthcounty.gov](mailto:charmon@leavenworthcounty.gov).

### PERSONAL INFORMATION

- **Name** Jessica R. Pontbriant
- **Address** [REDACTED] , Lansing, KS 66043
- **Home Number** \_\_\_\_\_
- **Work Number** [REDACTED]
- **Mobile Number** [REDACTED]
- **Email Address** [REDACTED]
- **Employer** Leavenworth County Council on Aging
- **Employer Address** 711 Marshall Street, Suite 100, Leavenworth, KS 66048
- **Type of Business / Organization** Leavenworth County government agency
- **Preferred Method of Contact:**     Work     Mobile     Home

**Volunteer Experience**

Past and Present Membership: Boards, committees, task forces in the public sector (business, civic, community, religious, political, professional, recreational or social). Add most recent experience first.

Organization	Role/Title	Dates of Service
<b>Leavenworth County Human Services Council</b>	COA Representative	2023-present
<b>Crisis Center of Comal County</b>	Volunteer	2015-2017

**Why?**

Those committed to volunteering in a leadership capacity have an abundance of organizations to choose from. We are most appreciative of your interest in ours and would like to hear more. Why our organization and not any other? Please share your motivation and what it is about the Council on Aging’s work that has led you to raise your hand to be a leading ambassador for us.

I am interested in this organization because I have seen firsthand the vital role the Council on Aging and Area Agency on Aging play in the lives of older adults. I am passionate about serving the aging population and connecting people with the programs and services needed to promote safety and wellbeing while keeping people in their homes.

**time**

Board service is a true commitment of time and energy. We estimate that board service could be a commitment of 2 to 4 hours each month. In addition, we ask Board members to attend 10 monthly, in-person meetings per year.

Do you have any concerns or potential conflicts that may serve as impediments to this time commitment? If so, please explain.

No foreseen conflicts.

**Other**

Who recommended you for board service?

Connie Harmon, Executive Director Council on Aging

Have you ever been convicted, plead guilty or plead no contest to a crime? If yes, please explain.

No

Please identify at least two references we may contact.

Name	Relationship	Best Contact (phone or email)
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██████████	Prior Supervisor	██████████
██████████	Prior Supervisor	██████████

**Leavenworth County  
Request for Board Action  
Case No. DEV-23-148/149  
Preliminary & Final Plat Novo-Gradac Acres**

**Date:** January 24, 2024  
**To:** Board of County Commissioners  
**From:** Planning & Zoning Staff

**Department Head Review:** John Jacobson, Reviewed

**Additional Reviews as needed:**

**Budget Review**  **Administrator Review**  **Legal Review**

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**Action Requested:**

Chairman, I move that the proposed Final Plat as outlined in Case DEV-23-149 be approved with conditions, that the plat is compliant with the County Zoning & Subdivision Regulations, as set forth in the staff report, as adopted by the Planning Commission and as substantiated by the facts, testimony and evidence presented, be accepted by this Board and that the conditions set forth in the staff report be made part of this approval.

**Analysis:** The applicant is proposing to divide a 40-acre parcel into two lots. The Subdivision is classified as a Class A with Lot 1 lying within the Urban Growth Area of the City of Basehor. Staff is supportive of a waiver of the requirement to connect to a sanitary sewer system as sanitary sewers are not located within 660' of the subdivision (see condition 1). The property is zoned RR-2.5 with both Lots meeting the standards for that zoning district except for the lot-depth to lot-width of Lot 1. The applicant has indicated that single family residence will be placed on Lot 2. Both lots will access through a shared-drive from State Avenue. Additional entrances will need to be approved by KDOT. Utilities for the lots will need to be obtained per the attached letters.

An exception was approved by the Planning Commission for the Lot-Depth to Lot-Width of Lot 2.

**Recommendation:** The Planning Commission voted 8-0 (1 absence) to recommend approval of Case No.DEV-23-148/149, Preliminary and Final Plat for Novo-Gradac Acres subject to conditions.

**Alternatives:**

1. Approve Case No. DEV-23-148/149, Preliminary and Final Plat for Novo-Gradac Acres, with Findings of Fact, and with or without conditions; or
2. Deny Case No. DEV-23-148/149, Preliminary and Final Plat for Novo-Gradac Acres, with Findings of Fact; or
3. Revise or Modify the Planning Commission Recommendation to Case No. DEV-23-148/149, Preliminary and Final Plat for Novo-Gradac Acres, with Findings of Fact; or
4. Remand the case back to the Planning Commission.

**Budgetary Impact:**

- Not Applicable  
 Budgeted item with available funds



- Non-Budgeted item with available funds through prioritization
- Non-Budgeted item with additional funds requested

**Total Amount Requested:** \$0.00

**Additional Attachments:** Staff Report, Plat, Planning Commission Minutes

**LEAVENWORTH COUNTY  
PLANNING COMMISSION  
STAFF REPORT**

CASE NO: DEV-23-148/149 Novo-Gradac Acres

January 10, 2024

REQUEST: **Regular Agenda**

Preliminary Plat       Final Plat

**STAFF REPRESENTATIVE:**

AMY ALLISON  
DEPUTY DIRECTOR

**SUBJECT PROPERTY: 17208 STATE AVENUE  
FUTURE LAND USE: MIXED USE**

**APPLICANT/APPLICANT AGENT:**

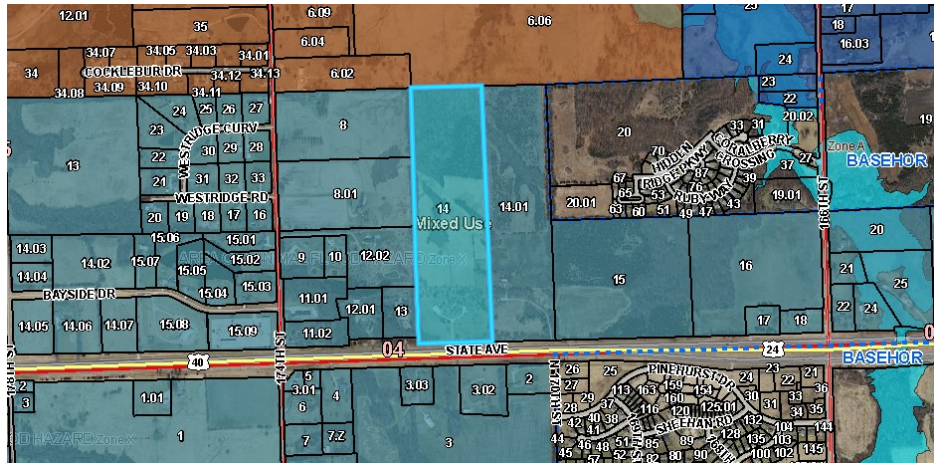
JOE HERRING  
HERRING SURVEYING

**PROPERTY OWNER:**

SUSAN M NOVO-GRADAC TRUST  
17208 STATE AVE  
BASEHOR, KS 66007

**CONCURRENT APPLICATIONS:**

NONE



**LAND USE**

ZONING: RR-2.5

FUTURE LAND USE DESIGNATION:  
MIXED USE

**LEGAL DESCRIPTION:**

A tract of land in the Southwest Quarter of Section 4, Township 11 South, Range 22 East of the 6th P.M., in Leavenworth County Kansas.

SUBDIVISION: N/A

FLOODPLAIN: N/A

**STAFF RECOMMENDATION: APPROVAL WITH CONDITIONS**

**PROPERTY INFORMATION**

**ACTION OPTIONS:**

1. Recommend approval of Case No. DEV-23-148/149, Preliminary & Final Plat for Novo-Gradac Acres, to the Board of County Commission, with or without conditions; or
2. Recommend denial of Case No. DEV-23-148/149, Preliminary & Final Plat for Novo-Gradac Acres, to the Board of County Commission for the following reasons; or
3. Continue the hearing to another date, time, and place.

PARCEL SIZE: 40 ACRES

PARCEL ID NO:  
182-04-0-00-00-014.00

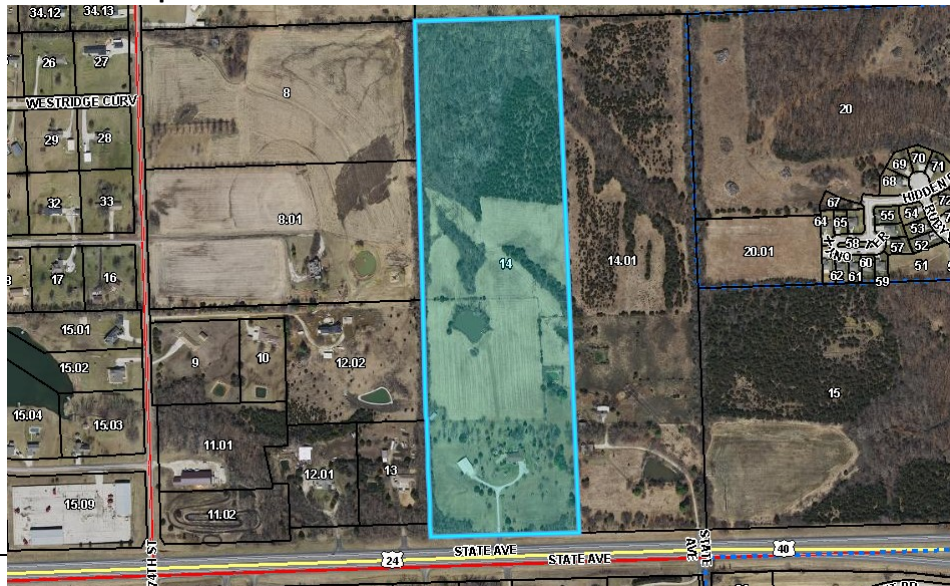
BUILDINGS:  
SINGLE FAMILY RESIDENCE,  
MULTIPLE ACCESSORY STRUCTURES

**PROJECT SUMMARY:**

Request for a preliminary and final plat approval to subdivide property located at 17208 State Avenue as Lots 1 and 2 of Novo-Gradac Acres.

ACCESS/STREET:  
STATE AVENUE – STATE HIGHWAY,  
PAVED ± 100’;

**Location Map:**



**UTILITIES**

SEWER: PRIVATE SEPTIC SYSTEM

FIRE: FAIRMOUNT

WATER: SUBURBAN

ELECTRIC: EVERGY

**NOTICE & REVIEW:**

STAFF REVIEW:  
1/3/2024

NEWSPAPER NOTIFICATION:  
N/A

NOTICE TO SURROUNDING  
PROPERTY OWNERS:  
N/A

<b>STANDARDS TO BE CONSIDERED:</b>			
<i>Leavenworth County Zoning and Subdivision Standards: Preliminary Review</i>		<b>Met</b>	<b>Not Met</b>
35-40	<b>Preliminary Plat Content</b>	X	
40-20	<b>Final Plat Content</b>	X	
41-6	<b>Access Management</b> Access is on a State Highway and under KDOT control	N/A	
41-6.B.a-c.	<b>Entrance Spacing</b> Access is on a State Highway and under KDOT control	N/A	
41-6.C.	<b>Public Road Access Management Standards</b>	N/A	
43	<b>Cross Access Easements</b>	N/A	
50-20	<b>Utility Requirements</b>	X	
50-30	<b>Other Requirements</b>	X	
50-40	<b>Minimum Design Standards</b> An exception from Article 50, Section 40.3.i. Lot-Depth to Lot-Width will need to be granted.		X
50-50	<b>Sensitive Land Development</b>	N/A	
50-60.	<b>Dedication of Reservation of Public Sites and Open Spaces</b>	N/A	

**STAFF COMMENTS:**

The applicant is proposing to divide a 40-acre parcel into two lots. The Subdivision is classified as a Class A with Lot 1 lying within the Urban Growth Area of the City of Basehor. Staff is supportive of a waiver of the requirement to connect to a sanitary sewer system as sanitary sewers are not located within 660' of the subdivision (see condition 1). The property is zoned RR-2.5 with both Lots meeting the standards for that zoning district except for the lot-depth to lot-width of Lot 1. The applicant has indicated that single family residence will be placed on Lot 2. Both lots will access through a shared-drive from State Avenue. Additional entrances will need to be approved by KDOT. Utilities for the lots will need to be obtained per the attached letters.

**EXCEPTIONS:**

The applicant has requested an exception from Article 50, Section 40.3.i. – Lot-width to Lot-Depth for Lot 1. The criteria for the acceptance of an exception is as follows:

1. That there are special circumstances or conditions affecting the property.
2. That the variance or exception is necessary for the reasonable and acceptable development of the property in question.
3. That the granting of the variance or exception will not be detrimental to the public welfare or injurious to the adjacent property.

*Motion: The Planning Commission hereby (approves/denies) an exception from Article 50, Section 40.3.i. – Lot-width to Lot-Depth conformance with the Zoning Regulations for the Novo-Gradac Acres subdivision, as submitted by the application, based on a finding that all three criteria for an exception has been met.*

**PROPOSED CONDITIONS:**

1. Building permits shall be required for any new construction.
2. Erosion control shall be used when designing and constructing driveways. A form of sediment control shall be installed before work begins and maintained throughout the time that the land disturbing activities are taking place. Re-vegetation of all disturbed sites shall be completed within 45 days after completion of final grading weather permitting.

3. A waiver for the use of private septic systems within this subdivision is granted with this approval.
4. At time of development, fire hydrants shall be required, if necessary infrastructure is available.
5. An exception to Article 50, Section 40.3.i. has been granted for Lot 1.
6. A single-family residential permit shall be obtained for Lot 2 prior to filing the Final Plat.

**ATTACHMENTS:**

A: Application & Narrative

B: Zoning Maps

C: Memorandums

~~FINAL~~ &  
**PRELIMINARY PLAT APPLICATION**  
 Leavenworth County Planning and Zoning Department  
 300 Walnut St., Suite 212  
 Leavenworth, Kansas  
 913-684-0465

~~\* Owner activity~~  
 \* Energy  
 \* FD Fairmount  
~~\* Hard Copy~~  
 \* Suburban

Township: <u>Fairmount</u>	Office Use Only
Case No. <u>DEV-23-</u>	Planning Commission Meeting Date: _____
Zoning District <u>RR 2.5</u>	Date Received/Paid: <u>11.27.2023</u>
Comprehensive Plan Land Use Designation: <u>Mixed Use</u>	

APPLICANT/AGENT INFORMATION	OWNER INFORMATION
NAME: <u>Herring Surveying Company</u>	NAME: <u>M SUSAN NOVO-GRADAC TRUST</u>
MAILING ADDRESS: <u>315 North 5th Street</u>	MAILING ADDRESS <u>17208 STATE AVE.</u>
CITY/ST/ZIP: <u>Leavenworth, KS 66048</u>	CITY/ST/ZIP <u>Basehor, KS 66007</u>
PHONE: <u>913-651-3858</u>	PHONE: <u>N/A</u>
EMAIL : <u>herringsurveying@outlook.com</u>	EMAIL <u>N/A</u>

**GENERAL INFORMATION**

Proposed Subdivision Name: NOVO-GRADAC ACRES

Address of Property: 17208 STATE AVE.

PID: 182-04-0-00-00-014 Urban Growth Management Area: Within 660 feet of Basehor City Limits

SUBDIVISION INFORMATION		
Gross Acreage: <u>40 Ac</u>	Number of Lots: <u>2 LOTS</u>	Minimum Lot Size: <u>8.29 AC</u>
Maximum Lot Size: <u>31 AC</u>	Proposed Zoning: <u>RR-2.5</u>	Density: <u>N/A</u>
Open Space Acreage: <u>N/A</u>	Water District: <u>Suburban</u>	Proposed Sewage: <u>Septic</u>
Fire District: <u>Fairmount</u>	Electric Provider: <u>Evergy</u>	Natural Gas Provider: <u>Propane</u>
Covenants: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Road Classification: <u>Local - Collector - Arterial - State - Federal</u>	
	Cross-Access Easement Requested: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
List of all Requested Exceptions: <i>Exceptions may be granted per Article 56 or as otherwise stated in the Zoning &amp; Subdivision Regulations.</i>	1. Width to depth - Lot 2 - land is divided by high power transmission line	
	2.	
	3.	
	4.	
	5.	

Is any part of the site designated as Floodplain?  Yes  No if yes, what is the panel number: \_\_\_\_\_

I, the undersigned, am the owner, duly authorized agent, of the aforementioned property situated in the unincorporated portion of Leavenworth County, Kansas. By execution of my signature, I do hereby officially apply for a final plat approval as indicated above.

Signature: Joe Herring - digitally signed 11/24/2023 Date: 11-24-23

**ATTACHMENT A**

FINAL &  
~~PRELIMINARY~~ PLAT APPLICATION  
 Leavenworth County Planning and Zoning Department  
 300 Walnut St., Suite 212  
 Leavenworth, Kansas  
 913-684-0465

Township: _____	Office Use Only Planning Commission Meeting Date: _____
Case No. _____	Date Received/Paid: _____
Zoning District _____	Comprehensive Plan Land Use Designation: _____

APPLICANT/AGENT INFORMATION	OWNER INFORMATION
NAME: <u>Herring Surveying Company</u>	NAME: <u>M SUSAN NOVO-GRADAC TRUST</u>
MAILING ADDRESS: <u>315 North 5th Street</u>	MAILING ADDRESS <u>17208 STATE AVE.</u>
CITY/ST/ZIP: <u>Leavenworth, KS 66048</u>	CITY/ST/ZIP <u>Basehor, KS 66007</u>
PHONE: <u>913-651-3858</u>	PHONE: <u>N/A</u>
EMAIL : <u>herringsurveying@outlook.com</u>	EMAIL <u>N/A</u>

**GENERAL INFORMATION**

Proposed Subdivision Name: NOVO-GRADAC ACRES

Address of Property: 17208 STATE AVE.

PID: 182-04-0-00-00-014      Urban Growth Management Area: Within 660 feet of Basehor City Limits

SUBDIVISION INFORMATION		
Gross Acreage: <u>40 Ac</u>	Number of Lots: <u>2 LOTS</u>	Minimum Lot Size: <u>8.29 AC</u>
Maximum Lot Size: <u>31 AC</u>	Proposed Zoning: <u>RR-2.5</u>	Density: <u>N/A</u>
Open Space Acreage: <u>N/A</u>	Water District: <u>Suburban</u>	Proposed Sewage: <u>Septic</u>
Fire District: <u>Fairmount</u>	Electric Provider: <u>Evergy</u>	Natural Gas Provider: <u>Propane</u>
Covenants: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Road Classification: <u>Local - Collector - Arterial - State - Federal</u>	
	Cross-Access Easement Requested: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
List of all Requested Exceptions: <i>Exceptions may be granted per Article 56 or as otherwise stated in the Zoning &amp; Subdivision Regulations.</i>	1. <u>Width to depth - Lot 2 - land is divided by high power transmission line</u>	
	2.	
	3.	
	4.	
	5.	

Is any part of the site designated as Floodplain? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No      if yes, what is the panel number: _____
I, the undersigned, am the owner, <b>duly authorized agent</b> , of the aforementioned property situated in the unincorporated portion of Leavenworth County, Kansas. By execution of my signature, I do hereby officially apply for a final plat approval as indicated above.
Signature: <u>Joe Herring - digitally signed 11/24/2023</u> <span style="float: right;">Date: <u>11-24-23</u></span>

**ATTACHMENT A**

K-23-1729

AFFIDAVIT

Authorization of Contractors or Individuals to Act as Agents of a Landowner  
COUNTY OF LEAVENWORTH  
STATE OF KANSAS

We/I M. Susan Novogradac and \_\_\_\_\_

Being dully sworn, dispose and say that we/I are the owner(s) of said property located at -  
17208 State Ave Bascher, KS 66007-7149, and that we authorize the following people or firms to act in our interest with the Leavenworth County Planning and Zoning Department for a period of one calendar year. Additionally, all statements herein contained in the information herewith submitted are in all respects true and correct to the best of our knowledge and belief.

Authorized Agents (full name, address & telephone number)

- 1) Joseph A. Herring – Herring Surveying Company 315 N. 5<sup>th</sup> Street, Leavenworth, KS 66048, 913-651-3858
- 2)

Signed and entered this 23 day of August, 2023

M. SUSAN NOVOGRADAC 17208 STATE AVE. BASCHER, KANSAS 66007

Print Name, Address, Telephone

M. Susan Novogradac

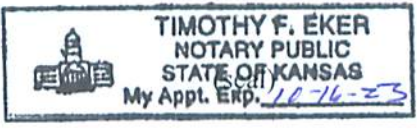
Signature

STATE OF KANSAS                    )  
  ) SS  
COUNTY OF LEAVENWORTH )

Be it remember that on this 23 day of August 2023 before me, a notary public in and for said County and State came M. Susan Novogradac to me personally known to be the same persons who executed the forgoing instrument of writing, and duly acknowledged the execution of same. In testimony whereof, I have hereunto set my hand and affixed my notary seal the day and year above written.

NOTARY PUBLIC Timothy Eker

My Commission Expires: 10-16-2025



## ARTICLE 56 – EXCEPTIONS

Where in the case of a particular proposed subdivision, it can be shown that strict compliance with the requirements of these regulations would result in extraordinary hardship to the subdivider because of unusual topography or other non-self-inflicted conditions; or that these conditions would result in inhibiting the achievement of the objectives of these regulations; the Planning Commission may vary, modify or waive the requirements so that substantial justice may be done and the public interest secured; provided, that such variance, modification or waiver will not have the effect of nullifying the intent and purpose of these regulations or interfering with carrying out the Comprehensive Plan.

In recommending such variance or exception, the Planning Commission shall find the following:

1. That there are special circumstances or conditions affecting the property.  
*Lot 2 is 2640 feet deep and is divided by an Overhead Transmission Line.*
2. That the variance or exception is necessary for the reasonable and acceptable development of the property in question.  
*Yes - statement above - all structures are on the South portion of property - north end could still be developed.*
3. That the granting of the variance or exception will not be detrimental to the public welfare or injurious to adjacent property.

*No*



# NOVO-GRADAC ACRES

A Minor Subdivision in the Southwest Quarter of Section 4, Township 11 South, Range 22 East of the 6th P.M., Leavenworth County, Kansas.

## PRELIMINARY PLAT

PREPARED FOR:  
M SUSAN NOVO-GRADAC TRUST  
17208 STATE AVE  
BASEHOR, KS 66007  
PID # 182-04-0-00-00-014

DESCRIPTION:  
A tract of land in the East 1/2 of the Southwest 1/4 of Section 4, Township 11 South, Range 22 East of the 6th P.M., in Leavenworth County, Kansas, being more particularly described as follows:  
Commencing at the Southeast corner of said Southwest 1/4, the South line of said Southwest 1/4 having an assumed bearing of South 87 degrees 40'33" West; thence South 87 degrees 40'33" West along the South line of said Southwest 1/4, 1314.39 feet to the Southwest corner of the East 1/2 of said Southwest 1/4; thence North 01 degrees 44'18" West along the West line of the East 1/2 of said Southwest 1/4, 202.60 feet to the True Point of Beginning of the tract herein described; thence North 01 degrees 44'18" West along the West line of the East 1/2 of said Southwest 1/4, 2445.05 feet to the Northwest corner of the East 1/2 of said Southwest 1/4; thence North 87 degrees 51'35" East along the North line of said Southwest 1/4, 714.84 feet; thence South 01 degrees 40'04" East, parallel with the East line of said Southwest 1/4, 2446.33 feet to the North right of way line of US 24 Highway; thence South 87 degrees 57'38" West along the North right of way line of said US 24 Highway, 711.01 feet to the True Point of Beginning of the tract herein described, less any part thereof taken or used for road or highway purposes.

SAMBOL, IVAN & ANNE M  
PID NO. 182-04-...008

GAYLE, JOSHUA & LARISSA  
PID NO. 182-04-...008.01

BROWN, THOMAS A & MARY D  
PID NO. 182-04-...012.02

JASTER, JOHN E & BECKY A  
PID NO. 182-04-...013

MILES, DARLA A; TRUST  
PID NO. 182-04-...006.06  
LOT 1  
MILES RANCH SUBDIVISION  
Doc # 2008P00016

### ZONING:

RR 2.5 - Rural Residential 2.5

### NOTES:

- 1) This survey does not show ownership.
- 2) All distances are calculated from measurements or measured this survey, unless otherwise noted.
- 3) All recorded and measured distances are the same, unless otherwise noted.
- 4) Error of Closure - 1 - 281730, 40.06 Acres, more or less
- 5) Basis of Bearing - KS SPC North Zone 1501
- 6) Monument Origin Unknown, unless otherwise noted.
- 7) Existing and Proposed Lots for Residential Use.
- 8) Road Record - See Survey
- 9) Benchmark - NAVD88
- 10) Project Benchmark (BM) - SE Cor. of Property - 1/2" Rebar Cap 655 - 970'
- 11) Easements, if any, are created hereon or listed in referenced title commitment.
- 12) Reference Recorded Deed Book 686 Page 1616
- 13) Utility Companies -
  - Water - Suburban
  - Electric - Evergy
  - Sewer - Septic / Lagoon
  - Gas - Propane / Natural Gas
- 14) Reference Lawyer's Title File Number 46867 dated November 4, 2023.
- 15) Property is not in a Special Flood Hazard Area per FEMA FIRM Map 20103C0350G dated July 16, 2015
- 16) Building Setback Lines as shown hereon or noted below
  - All side yard setbacks - 15' (Accessory - 15')
  - All rear yard setbacks - 40' (Accessory - 15')
- 17) Existing Structures, if any, are shown hereon.
- 18) Easements as per referenced Title Commitment are shown hereon, if any.
  - KCP&L / Westar Easement recorded as Document No. 2011R08073, as shown hereon.
  - Williams Telecommunications Company, recorded in Bk 597 Pg 220, not located this survey.
- 19) Fence Lines do not necessarily denote the boundary line for the property.
- 20) Reference Surveys:
  - MILES RANCH SUBDIVISION Doc # 2008P00016
  - TBM - Terry B. Melton Survey dated 1996 - no recording information

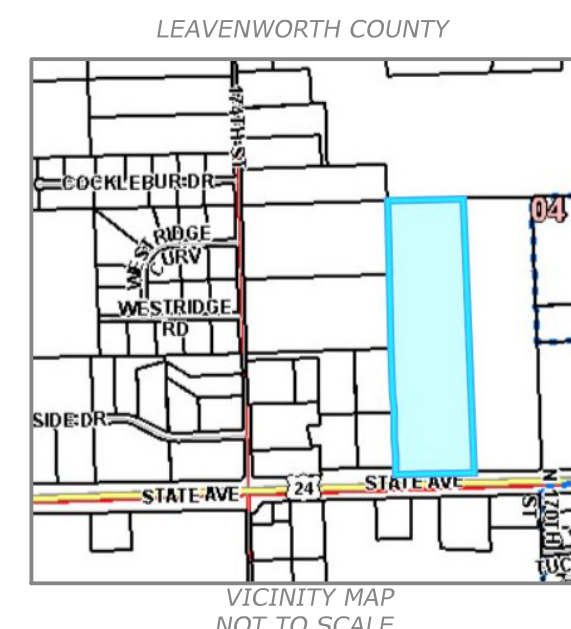
### RESTRICTIONS:

- 1) All proposed structures within this plat shall comply with the Leavenworth County Zoning and Subdivision Regulations or zoning regulation jurisdiction.
- 2) An Engineered Waste Disposal System may be required due to poor soil conditions.
- 3) Erosion and sediment control measures shall be used when designing and constructing driveways and other structures. Re-vegetation of all disturbed areas shall be completed within 45 days after final grading.
- 4) Lots are subject to the current Access Management Policy. Additional access limits as shown hereon.
- 5) All structures built within the subdivision shall comply with Resolution 2020-39, or as amended.
- 6) An exception to Article 50, Section 40.3.1. Lot-Depth to Lot-Width has been granted for Lot 2
- 7) Lots 1 and 2 have a shared access to State Avenue. Maintenance of the access drive is shared between the appropriate lots.
- 8) Structures that exist within the building setback line or platted easement. Any future building or expansion must comply with the building setback. If the structure is damaged greater than 51% it may not be rebuilt or restored on the existing location and must meet all setbacks
- 9) No off-plat restrictions.

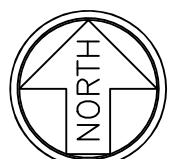
BROWN, JOHN WILLIAM SR & LEAH L  
PID NO. 182-04-...014.01

### LEGEND:

- - 1/2" Bar Set with Cap No.1296
- - 1/2" Bar Found, unless otherwise noted.
- - Concrete Base to be Set around Point
- △ - PK Nail Found in Place
- ( ) - Record / Deeded Distance
- U/E - Utility Easement
- D/E - Drainage Easement
- B.S.L. - Building Setback Line
- R/W - Permanent Dedicated Roadway Easement dedicated this plat
- CL - Centerline
- SL - Section Line
- BM - Benchmark
- - DIRECTION OF WATER FLOW
- - Power Pole
- X - Fence Line
- OHP - Overhead Power Lines
- T - Underground Telephone/Fiber Optic Line
- ⊗ - Water Shut-off Valve, line is abandoned
- ⊕ - Water Meter/Valve
- ⊞ - Telephone Pedestal
- W - 6" Water Line - location as per district
- POB - Point of Beginning
- POC - Point of Commencing
- ~ - Tree/Brush Line
- NS - Not Set this Survey per agreement with client



VICINITY MAP  
NOT TO SCALE



Scale 1" = 100'

Job # K-23-1729  
November 24, 2023 Rev. 12/28/23

J. HERRING, Inc. (dba)  
SURVEYING  
COMPANY  
315 North 5th Street, Leav., KS 66048  
Ph. 913.661.3858 Fax 913.674.5381  
Email - survey@camcash.com

100 0 100 200 300  
1" = 100'

I hereby certify that this survey was made by me, or under my direct supervision, on the ground during the dates of October through November 2023 and this map or plat is correct to the best of my knowledge.

Joseph A. Herring  
PS # 1296

# NOVO-GRADAC ACRES

A Minor Subdivision in the Southwest Quarter of Section 4, Township 11 South, Range 22 East of the 6th P.M., Leavenworth County, Kansas.

## FINAL PLAT

PREPARED FOR:  
M SUSAN NOVO-GRADAC TRUST  
17208 STATE AVE  
BASEHOR, KS 66007  
PID # 182-04-0-00-00-014

09C  
NW COR SW 1/4  
Sec. 4-11-22  
1/2" Rebar

MILES, DARLA A; TRUST  
PID NO. 182-04-...006.06  
LOT 1  
MILES RANCH SUBDIVISION  
Doc # 2008P00016

602.67'

11C  
NE COR SW 1/4  
Sec. 4-11-22  
Alum. Cap stamped  
"CTR COR 4-11-22"  
in concrete

### DESCRIPTION; per Deed Book 686 Page 1616.

A tract of land in the East 1/2 of the Southwest 1/4 of Section 4, Township 11 South, Range 22 East of the 6th P.M., in Leavenworth County, Kansas, being more particularly described as follows:  
Commencing at the Southeast corner of said Southwest 1/4, the South line of said Southwest 1/4 having an assumed bearing of South 87 degrees 40'33" West; thence South 87 degrees 40'33" West along the South line of said Southwest 1/4, 1314.39 feet to the Southwest corner of the East 1/2 of said Southwest 1/4; thence North 01 degrees 44'18" West along the West line of the East 1/2 of said Southwest 1/4, 202.60 feet to the True Point of Beginning of the tract herein described; thence North 01 degrees 44'18" West along the West line of the East 1/2 of said Southwest 1/4, 2445.05 feet to the Northwest corner of the East 1/2 of said Southwest 1/4; thence North 87 degrees 51'35" East along the North line of said Southwest 1/4, 714.84 feet; thence South 01 degrees 40'04" East, parallel with the East line of said Southwest 1/4, 2446.33 feet to the North right of way line of US 24 Highway; thence South 87 degrees 57'38" West along the North right of way line of said US 24 Highway, 711.01 feet to the True Point of Beginning of the tract herein described, less any part thereof taken or used for road or highway purposes.

SAMBOL, IVAN & ANNE M  
PID NO. 182-04-...008

### CERTIFICATION AND DEDICATION

The undersigned proprietors state that all taxes of the above described tract of land have been paid and that they have caused the same to be subdivided in the manner shown on the accompanying plat, which subdivision shall be known as: NOVO-GRADAC ACRES.

Easements shown on this plat are hereby dedicated for public use, the rights of way which are shown with dashed lines on the accompanying plat, and said easements may be employed to locate and maintain sewers, water lines, gas lines, poles and wires and any other form of public utility now and hereafter used by the public over, under and along the strips marked "Utility Easement" (U/E).

"Drainage Easements" or "D/E" shown on this plat are hereby dedicated for the purpose of constructing, using, replacing and maintaining a culvert, storm sewer, drainage ditch, or other drainage facility or tributary connections, including similar facilities, and appurtenances thereto, including the right to maintain, repair and replace the drainage facility and for any reconstruction and future expansion of such facility, together with the right of access for the same, is hereby dedicated for public use. Drainage Easements shall be kept clear of obstructions that impair the strength or interfere with the use and/or maintenance of storm drainage facilities. The maintenance and upkeep of said Easements shall be the responsibility of the individual owners of the lots whereupon said Easements are dedicated. Leavenworth County shall bear no responsibility for any maintenance and upkeep of said Easements.

Building Lines or Setback Lines (B.S.L.) are hereby established as shown on the accompanying plat and no building or portion thereof shall be built or constructed between this line and the street line.

### IN TESTIMONY WHEREOF,

We, the undersigned owners of NOVO-GRADAC ACRES, have set our hands this \_\_\_\_\_ day of \_\_\_\_\_, 2024.

GAYLE, JOSHUA & LARISSA  
PID NO. 182-04-...008.01

M. Susan Novo-Gradac - Trustee  
M SUSAN NOVO-GRADAC TRUST

### NOTARY CERTIFICATE:

Be it remembered that on this \_\_\_\_\_ day of \_\_\_\_\_, 2024, before me, a notary public in and for said County and State came M. Susan Novo-Gradac, Trustee of the M SUSAN NOVO-GRADAC TRUST to me personally known to be the same persons who executed the foregoing instrument of writing, and duly acknowledged the execution of same. In testimony whereof, I have hereunto set my hand and affixed my notary seal the day and year above written.

### NOTARY PUBLIC

My Commission Expires: \_\_\_\_\_ (seal)

### APPROVALS

We, the Leavenworth County Planning Commission, do hereby approve the foregoing plat of NOVO-GRADAC ACRES this \_\_\_\_\_ day of \_\_\_\_\_, 2024.

Secretary  
John Jacobson

Chairperson  
Marcus Major

### COUNTY ENGINEER'S APPROVAL:

The County Engineer's plat review is only for general conformance with the subdivision regulations as adopted by Leavenworth County. The County is not responsible for the accuracy and adequacy of the design, dimensions, elevations, and quantities.

County Engineer - Mitch Pleak

### COUNTY COMMISSION APPROVAL:

We, the Board of County Commissioners of Leavenworth County, Kansas, do hereby approve the foregoing plat of NOVO-GRADAC ACRES this \_\_\_\_\_ day of \_\_\_\_\_, 2024.

Chairperson  
Vicky Kaaz

County Clerk  
Attest: Janet Klasinski

BROWN, THOMAS A & MARY D  
PID NO. 182-04-...012.02

JASTER, JOHN E & BECKY A  
PID NO. 182-04-...013

BROWN, JOHN WILLIAM SR & LEAH L  
PID NO. 182-04-...014.01

### ZONING:

RR 2.5 - Rural Residential 2.5

### NOTES:

- This survey does not show ownership.
- All distances are calculated from measurements or measured this survey, unless otherwise noted.
- All recorded and measured distances are the same, unless otherwise noted.
- Error of Closure - 1 - 281730, 40.06 Acres, more or less
- Basis of Bearing - KS SPC North Zone 1501
- Monument Origin Unknown, unless otherwise noted.
- Existing and Proposed Lots for Residential Use.
- Road Record - See Survey
- Benchmark - NAVD83
- Project Benchmark (BM) - SE Cor. of Property - 1/2" Rebar Cap 655 - 970'
- Easements, if any, are created hereon or listed in referenced title commitment.
- Reference Recorded Deed Book 686 Page 1616.
- Utility Companies -
  - Water - Suburban
  - Electric - Evergy
  - Sewer - Septic / Lagoon
  - Gas - Propane / Natural Gas
- Reference Lawyer's Title File Number 46867 dated November 4, 2023.
- Property is not in a Special Flood Hazard Area per FEMA FIRM Map 20103C0350G dated July 16, 2015
- Building Setback Lines as shown hereon or noted below
  - All side yard setbacks - 15' (Accessory - 15')
  - All rear yard setbacks - 40' (Accessory - 15')
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  - KCP&L / Westar Easement recorded as Document No. 2011R08073, as shown hereon.
  - Williams Telecommunications Company, recorded in Bk 597 Pg 220, not located this survey.
- Fence Lines do not necessarily denote the boundary line for the property.
- Reference Surveys:
  - MILES RANCH SUBDIVISION Doc # 2008P00016
  - TBM - Terry B. Melton Survey dated 1996 - no recording information

### RESTRICTIONS:

- All proposed structures within this plat shall comply with the Leavenworth County Zoning and Subdivision Regulations or zoning regulation jurisdiction.
- An Engineered Waste Disposal System may be required due to poor soil conditions.
- Erosion and sediment control measures shall be used when designing and constructing driveways and other structures. Re-vegetation of all disturbed areas shall be completed within 45 days after final grading.
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- Structures that exist within the building setback line or platted easement. Any future building or expansion must comply with the building setback. If the structure is damaged greater than 51% it may not be rebuilt or restored on the existing location and must meet all setbacks
- No off-plat restrictions.

### LEGEND:

- - 1/2" Bar Set with Cap No. 1296
- - 1/2" Bar Found, unless otherwise noted.
- ( ) - Record / Deeded Distance
- U/E - Utility Easement
- D/E - Drainage Easement
- B.S.L. - Building Setback Line
- R/W - Permanent Dedicated Roadway Easement dedicated this plat
- ⊖ - Centerline
- ⊕ - Section Line
- BM - Benchmark
- POB - Point of Beginning
- POC - Point of Commencing
- NS - Not Set this Survey per agreement with client

### REGISTER OF DEED CERTIFICATE:

Filed for Record as Document No. \_\_\_\_\_ on this \_\_\_\_\_ day of \_\_\_\_\_, 2023 at \_\_\_\_\_ o'clock \_\_\_ M in the Office of the Register of Deeds of Leavenworth County, Kansas,

Register of Deeds - TerriLois G. Mashburn



Scale 1" = 100'

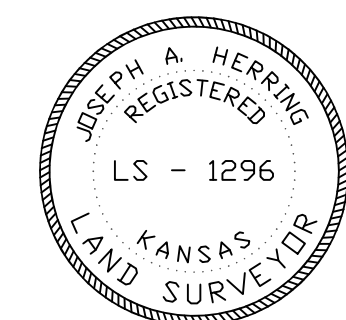
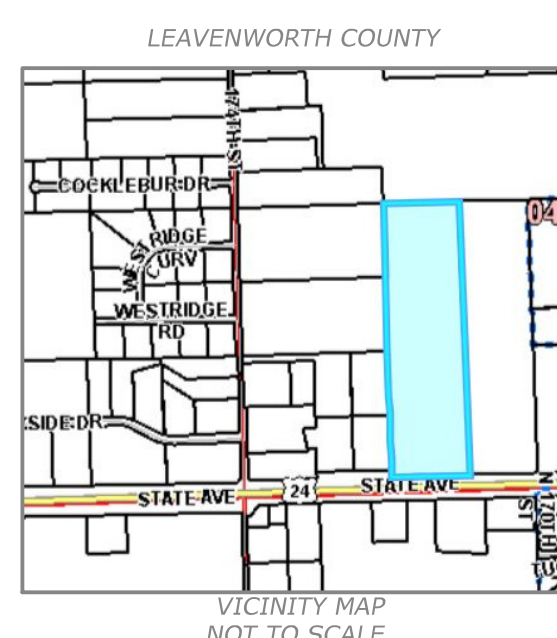
I hereby certify that this survey plat meets the requirements of K.S.A. 58-2005. The face of this survey plat was reviewed for compliance with Kansas Minimum Standards for Boundary Surveys. No field verification is implied. This review is for survey information only.

Daniel Baumchen, PS#1363  
County Surveyor

Job # K-23-1729  
November 24, 2023 Rev. 12/28/23

J. HERRING, Inc. (dba)  
SURVEYING  
COMPANY  
315 North 5th Street, Leav., KS 66048  
Ph. 913.661.3858 Fax 913.674.5381  
Email - survey@camcash.com

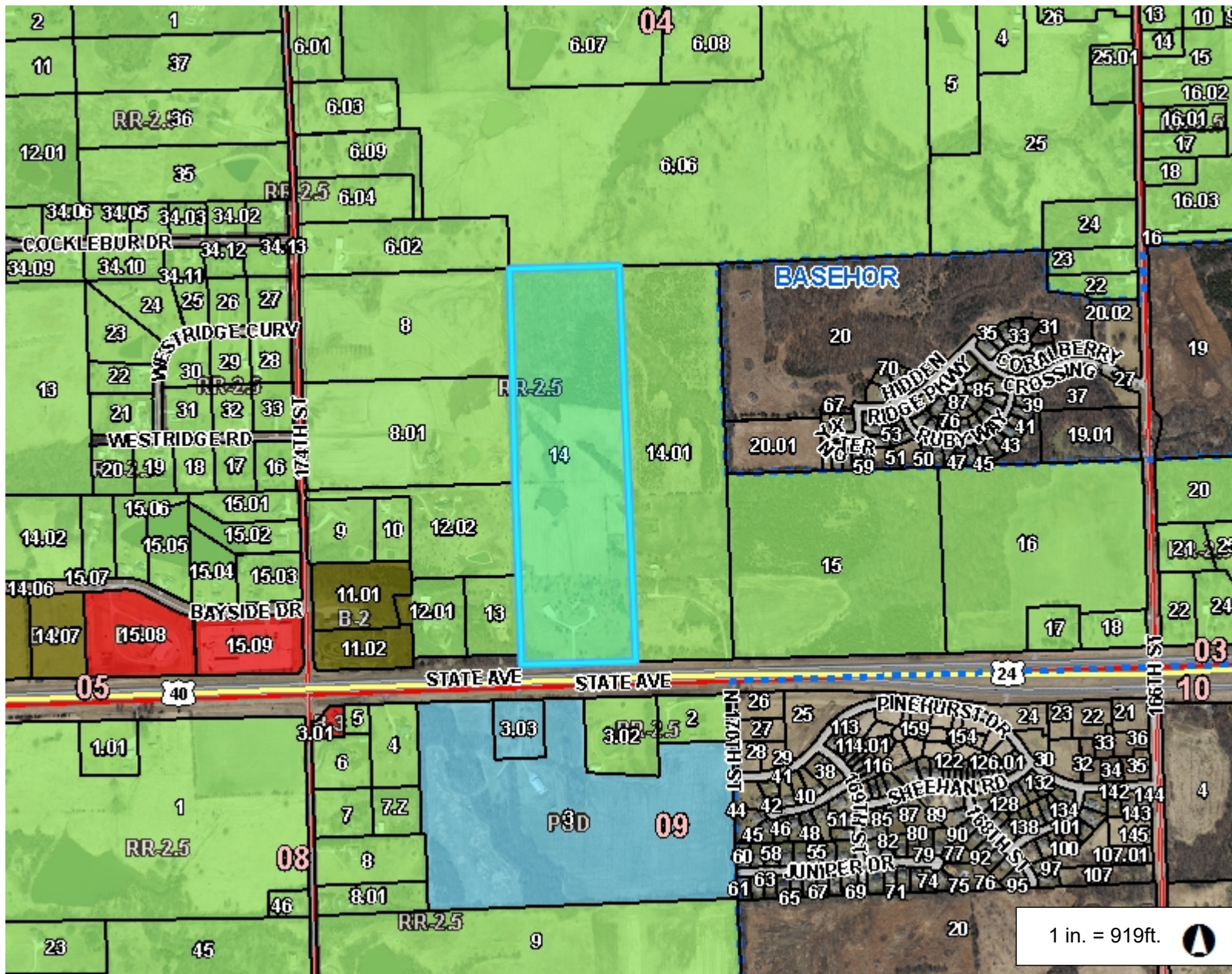
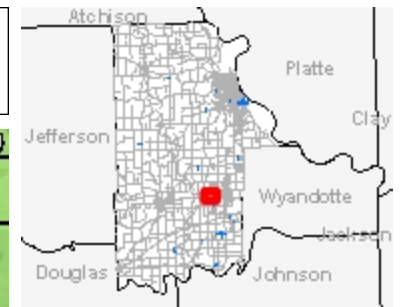
100 0 100 200 300  
1" = 100'



I hereby certify that this survey was made by me, or under my direct supervision, on the ground during the dates of October through November 2023 and this map or plat is correct to the best of my knowledge.

Joseph A. Herring  
PS # 1296

# DEV-23-148/149 Novo-Gradac Acres



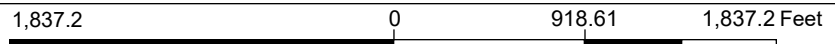
### Legend

- Parcel Number
- Parcel
- City Limit Line
- Major Road
  - <all other values>
  - 70
- Road
  - <all other values>
  - PRIVATE
- Railroad
- Section
- Section Boundaries
- County Boundary
- Zoning
  - B-1
  - B-2
  - B-3
  - I-1
  - I-2
  - I-3
  - MXD
  - PC
  - PI
  - PR-1
  - PR-2
  - PR-3

### Notes

This Cadastral Map is for informational purposes only. It does not purport to represent a property boundary survey of the parcels shown and shall not be used for conveyances or the establishment of property boundaries.

THIS MAP IS NOT TO BE USED FOR NAVIGATION



1 in. = 919ft.

**From:** [Anderson, Kyle](#)  
**Sent:** Tuesday, December 5, 2023 1:22 PM  
**To:** [Johnson, Melissa](#)  
**Subject:** RE: DEV-23-148/149 Pre & Final Plat Novo-Gradac Acres Herring

---

It appears that the lagoon will remain on the same lot as the home it services. Lot 1 will have 2 accessory buildings on it without a home.

Kyle Anderson  
Environmental Technician/Code Enforcement  
Leavenworth County Planning & Zoning  
300 Walnut St. Ste. 212  
Leavenworth, KS 66048  
913-684-1084

*Disclaimer: This message and any attachments are intended only for the use of the recipient or their authorized representative. The information provided in this email is limited in scope and response detail by available information, current zoning and subdivision regulations. Depending on the level of development, the applicable regulations can change. Final approval cannot be granted until a complete application has been submitted, reviewed and approved by the governing body. Nothing in this message or its contents should be interpreted to authorize or conclude approval by Leavenworth County.*

---

**From:** Johnson, Melissa <MJohnson@leavenworthcounty.gov>  
**Sent:** Tuesday, December 5, 2023 10:36 AM  
**To:** Magaha, Chuck <cmagaha@lvsheriff.org>; Miller, Jamie <JMiller@leavenworthcounty.gov>; Patzwald, Joshua <jpatzwald@lvsheriff.org>; Van Parys, David <DVanParys@leavenworthcounty.gov>; Brown, Misty <MBrown@leavenworthcounty.gov>; 'Steven.Taylor@KS.gov' <Steven.Taylor@KS.gov>; 'mpleak@olsson.com' <mpleak@olsson.com>; Noll, Bill <BNoll@leavenworthcounty.gov>; McAfee, Joe <JMcafee@leavenworthcounty.gov>; Baumchen, Daniel <DBaumchen@leavenworthcounty.gov>  
**Cc:** PZ <PZ@leavenworthcounty.gov>  
**Subject:** DEV-23-148/149 Pre & Final Plat Novo-Gradac Acres Herring

The Leavenworth County Planning & Zoning Department has received a request for a Preliminary and Final Plat for Novo-Gradac Acres.

The Planning Staff would appreciate your written input in consideration of the above listed request. Please review the attached information and forward any comments to us by December 19, 2023.

If you have any questions or need additional information, please contact me at (913) 684-0465, [pz@leavenworthcounty.gov](mailto:pz@leavenworthcounty.gov).

Thank you,

*Melissa Johnson*

Planner I  
Leavenworth County  
Planning & Zoning Department  
Leavenworth County Courthouse  
300 Walnut St, Suite 212  
Leavenworth County, Kansas 66048  
(913) 684-0465

# NOVO-GRADAC ACRES

A Minor Subdivision in the Southwest Quarter of Section 4, Township 11 South, Range 22 East of the 6th P.M., Leavenworth County, Kansas.

## FINAL PLAT

PREPARED FOR:  
M SUSAN NOVO-GRADAC TRUST  
17208 STATE AVE  
BASEHOR, KS 66007  
PID # 182-04-0-00-00-014

09C  
NW COR SW 1/4  
Sec. 4-11-22  
1/2" Rebar

MILES, DARLA A; TRUST  
PID NO. 182-04-...006.06  
LOT 1  
MILES RANCH SUBDIVISION  
Doc # 2008P00016

602.67'

11C  
NE COR SW 1/4  
Sec. 4-11-22  
Alum. Cap stamped  
"CTR COR 4-11-22"  
in concrete

### DESCRIPTION; per Deed Book 686 Page 1616.

A tract of land in the East 1/2 of the Southwest 1/4 of Section 4, Township 11 South, Range 22 East of the 6th P.M., in Leavenworth County, Kansas, being more particularly described as follows: Commencing at the Southeast corner of said Southwest 1/4, the South line of said Southwest 1/4 having an assumed bearing of South 87 degrees 40'33" West; thence South 87 degrees 40'33" West along the South line of said Southwest 1/4, 1314.39 feet to the Southwest corner of the East 1/2 of said Southwest 1/4; thence North 01 degrees 44'18" West along the West line of the East 1/2 of said Southwest 1/4, 202.60 feet to the True Point of Beginning of the tract herein described; thence North 01 degrees 44'18" West along the West line of the East 1/2 of said Southwest 1/4, 2445.05 feet to the Northwest corner of the East 1/2 of said Southwest 1/4; thence North 87 degrees 51'35" East along the North line of said Southwest 1/4, 714.84 feet; thence South 01 degrees 40'04" East, parallel with the East line of said Southwest 1/4, 2446.33 feet to the North right of way line of US 24 Highway; thence South 87 degrees 57'38" West along the North right of way line of said US 24 Highway, 711.01 feet to the True Point of Beginning of the tract herein described, less any part thereof taken or used for road or highway purposes.

SAMBOL, IVAN & ANNE M  
PID NO. 182-04-...008

### CERTIFICATION AND DEDICATION

The undersigned proprietors state that all taxes of the above described tract of land have been paid and that they have caused the same to be subdivided in the manner shown on the accompanying plat, which subdivision shall be known as: NOVO-GRADAC ACRES.

Easements shown on this plat are hereby dedicated for public use, the rights of way which are shown with dashed lines on the accompanying plat, and said easements may be employed to locate and maintain sewers, water lines, gas lines, poles and wires and any other form of public utility now and hereafter used by the public over, under and along the strips marked "Utility Easement" (U/E).

"Drainage Easements" or "D/E" shown on this plat are hereby dedicated for the purpose of constructing, using, replacing and maintaining a culvert, storm sewer, drainage ditch, or other drainage facility or tributary connections, including similar facilities, and appurtenances thereto, including the right to maintain, repair and replace the drainage facility and for any reconstruction and future expansion of such facility, together with the right of access for the same, is hereby dedicated for public use. Drainage Easements shall be kept clear of obstructions that impair the strength or interfere with the use and/or maintenance of storm drainage facilities. The maintenance and upkeep of said Easements shall be the responsibility of the individual owners of the lots whereupon said Easements are dedicated. Leavenworth County shall bear no responsibility for any maintenance and upkeep of said Easements.

Building Lines or Setback Lines (B.S.L.) are hereby established as shown on the accompanying plat and no building or portion thereof shall be built or constructed between this line and the street line.

### IN TESTIMONY WHEREOF,

We, the undersigned owners of NOVO-GRADAC ACRES, have set our hands this \_\_\_\_\_ day of \_\_\_\_\_, 2024.

GAYLE, JOSHUA & LARISSA  
PID NO. 182-04-...008.01

M. Susan Novo-Gradac - Trustee  
M SUSAN NOVO-GRADAC TRUST

### NOTARY CERTIFICATE:

Be it remembered that on this \_\_\_\_\_ day of \_\_\_\_\_, 2024, before me, a notary public in and for said County and State came M. Susan Novo-Gradac, Trustee of the M SUSAN NOVO-GRADAC TRUST to me personally known to be the same persons who executed the foregoing instrument of writing, and duly acknowledged the execution of same. In testimony whereof, I have hereunto set my hand and affixed my notary seal the day and year above written.

### NOTARY PUBLIC

My Commission Expires: \_\_\_\_\_ (seal)

### APPROVALS

We, the Leavenworth County Planning Commission, do hereby approve the foregoing plat of NOVO-GRADAC ACRES this \_\_\_\_\_ day of \_\_\_\_\_, 2024.

Secretary  
John Jacobson

Chairperson  
Marcus Major

COUNTY ENGINEER'S APPROVAL:  
The County Engineer's plat review is only for general conformance with the subdivision regulations as adopted by Leavenworth County. The County is not responsible for the accuracy and adequacy of the design, dimensions, elevations, and quantities.

County Engineer - Mitch Pleak

COUNTY COMMISSION APPROVAL:  
We, the Board of County Commissioners of Leavenworth County, Kansas, do hereby approve the foregoing plat of NOVO-GRADAC ACRES this \_\_\_\_\_ day of \_\_\_\_\_, 2024.

Chairperson  
Vicky Kaaz

County Clerk  
Attest: Janet Klasinski

BROWN, THOMAS A & MARY D  
PID NO. 182-04-...012.02

JASTER, JOHN E & BECKY A  
PID NO. 182-04-...013

BROWN, JOHN WILLIAM SR & LEAH L  
PID NO. 182-04-...014.01

### ZONING:

RR 2.5 - Rural Residential 2.5

### NOTES:

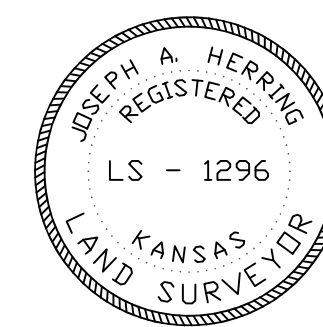
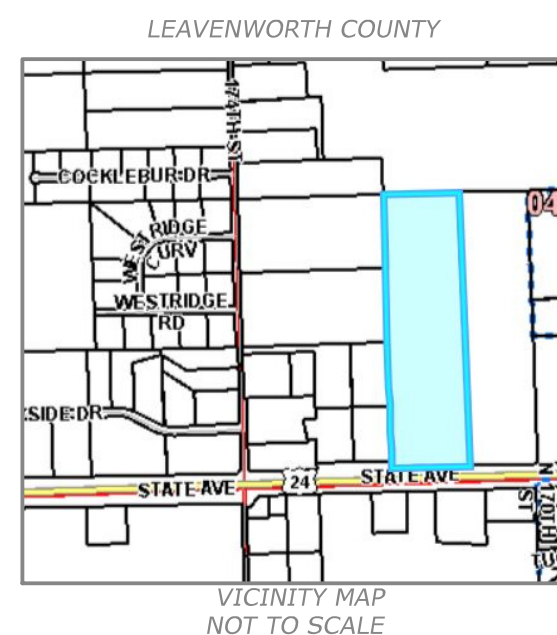
- This survey does not show ownership.
- All distances are calculated from measurements or measured this survey, unless otherwise noted.
- All recorded and measured distances are the same, unless otherwise noted.
- Error of Closure - 1 - 281730, 40.06 Acres, more or less
- Basis of Bearing - KS SPC North Zone 1501
- Monument Origin Unknown, unless otherwise noted.
- Proposed Lots for Residential Use.
- Road Record - See Survey
- Benchmark - NAVD88
- Project Benchmark (BM) - SE Cor. of Property - 1/2" Rebar Cap 655 - 970'
- Easements, if any, are created hereon or listed in referenced title commitment.
- Reference Recorded Deed Book 686 Page 1616.
- Utility Companies -
  - Water - Suburban
  - Electric - Evergy
  - Sewer - Septic / Lagoon
  - Gas - Propane / Natural Gas
- Reference Lawyer's Title File Number 46867 dated November 4, 2023.
- Property is not in a Special Flood Hazard Area per FEMA FIRM Map 20103C0350G dated July 16, 2015
- Building Setback Lines as shown hereon or noted below
  - All side yard setbacks - 15' (Accessory - 15')
  - All rear yard setbacks - 40' (Accessory - 15')
- Easements as per referenced Title Commitment are shown hereon, if any.
  - KCP&L / Westar Easement recorded as Document No. 2011R08073, as shown hereon.
  - Williams Telecommunications Company, recorded in Bk 597 Pg 220, not located this survey.
- Fence Lines do not necessarily denote the boundary line for the property.
- Reference Surveys:
  - MILES RANCH SUBDIVISION Doc # 2008P00016
  - TBM - Terry B. Melton Survey dated 1996 - no recording information

### RESTRICTIONS:

- All proposed structures within this plat shall comply with the Leavenworth County Zoning and Subdivision Regulations or zoning regulation jurisdiction.
- An Engineered Waste Disposal System may be required due to poor soil conditions.
- Erosion and sediment control measures shall be used when designing and constructing driveways and other structures. Re-vegetation of all disturbed areas shall be completed within 45 days after final grading.
- Lots are subject to the current Access Management Policy. Additional access limits as shown hereon.
- All structures built within this subdivision shall comply with Resolution 2020-39, or as amended.
- An exception to Article 50, Section 40.3.1. Lot-Depth to Lot-Width has been granted for Lot 2
- Lots 1 and 2 have a shared access to State Avenue. Maintenance of the access drive is shared between the appropriate lots.
- Structures that exist within the building setback line or platted easement. Any future building or expansion must comply with the building setback. If the structure is damaged greater than 51% it may not be rebuilt or restored on the existing location and must meet all setbacks
- No off-plat restrictions.

### LEGEND:

- - 1/2" Bar Set with Cap No. 1296
- - 1/2" Bar Found, unless otherwise noted.
- ( ) - Record / Deeded Distance
- U/E - Utility Easement
- D/E - Drainage Easement
- B.S.L. - Building Setback Line
- R/W - Permanent Dedicated Roadway Easement dedicated this plat
- ⊖ - Centerline
- ⊞ - Section Line
- BM - Benchmark
- POB - Point of Beginning
- POC - Point of Commencing
- NS - Not Set this Survey per agreement with client



I hereby certify that this survey was made by me, or under my direct supervision, on the ground during the dates of October through November 2023 and this map or plat is correct to the best of my knowledge.

Joseph A. Herring  
PS # 1296

REGISTER OF DEED CERTIFICATE:  
Filed for Record as Document No. \_\_\_\_\_ on this \_\_\_\_\_ day of \_\_\_\_\_, 2023 at \_\_\_\_\_ o'clock \_\_\_ M in the Office of the Register of Deeds of Leavenworth County, Kansas,

Register of Deeds - TerriLois G. Mashburn

I hereby certify that this survey plat meets the requirements of K.S.A. 58-2005. The face of this survey plat was reviewed for compliance with Kansas Minimum Standards for Boundary Surveys. No field verification is implied. This review is for survey information only.

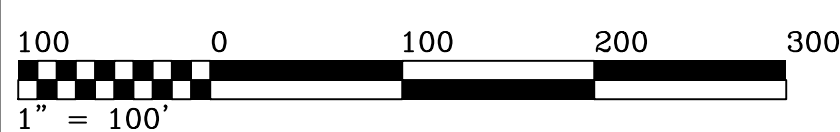
Reviewed 2023.12.26 No Comments

Daniel Baumchen, PS#1363  
County Surveyor



Scale 1" = 100'

Job # K-23-1729  
November 24, 2023 Rev. 12/21/23



**12-27-23**  
**Olsson Comments**  
**No Further**  
**Comments**

Novo-Gradac

Leavenworth County Kansas

Drainage Report

November 24, 2023

Revised December 21, 2023



# NOVO-GRADAC ACRES

A Minor Subdivision in the Southwest Quarter of Section 4, Township 11 South, Range 22 East of the 6th P.M., Leavenworth County, Kansas.

## FINAL PLAT

PREPARED FOR:  
M SUSAN NOVO-GRADAC TRUST  
17208 STATE AVE  
BASEHOR, KS 66007  
PID # 182-04-0-00-00-014

09C  
NW COR SW 1/4  
Sec. 4-11-22  
1/2" Rebar

MILES, DARLA A; TRUST  
PID NO. 182-04-...006.06  
LOT 1  
MILES RANCH SUBDIVISION  
Doc # 2008P00016

602.67'

11C  
NE COR SW 1/4  
Sec. 4-11-22  
Alum. Cap stamped  
"CTR COR 4-11-22"  
in concrete

DESCRIPTION: per Deed Book 686 Page 1616.

A tract of land in the East 1/2 of the Southwest 1/4 of Section 4, Township 11 South, Range 22 East of the 6th P.M., in Leavenworth County, Kansas, being more particularly described as follows:  
Commencing at the Southeast corner of said Southwest 1/4, the South line of said Southwest 1/4 having an assumed bearing of South 87 degrees 40'33" West; thence South 87 degrees 40'33" West along the South line of said Southwest 1/4, 1314.39 feet to the Southwest corner of the East 1/2 of said Southwest 1/4; thence North 01 degrees 44'18" West along the West line of the East 1/2 of said Southwest 1/4, 202.60 feet to the True Point of Beginning of the tract herein described; thence North 01 degrees 44'18" West along the West line of the East 1/2 of said Southwest 1/4, 2445.05 feet to the Northwest corner of the East 1/2 of said Southwest 1/4; thence North 87 degrees 51'35" East along the North line of said Southwest 1/4, 714.84 feet; thence South 01 degrees 40'04" East, parallel with the East line of said Southwest 1/4, 2446.33 feet to the North right of way line of US 24 Highway; thence South 87 degrees 57'38" West along the North right of way line of said US 24 Highway, 711.01 feet to the True Point of Beginning of the tract herein described, less any part thereof taken or used for road or highway purposes.

SAMBOL, IVAN & ANNE M  
PID NO. 182-04-...008

### CERTIFICATION AND DEDICATION

The undersigned proprietors state that all taxes of the above described tract of land have been paid and that they have caused the same to be subdivided in the manner shown on the accompanying plat, which subdivision shall be known as: NOVO-GRADAC ACRES.

Easements shown on this plat are hereby dedicated for public use, the rights of way which are shown with dashed lines on the accompanying plat, and said easements may be employed to locate and maintain sewers, water lines, gas lines, poles and wires and any other form of public utility now and hereafter used by the public over, under and along the strips marked "Utility Easement" (U/E).

"Drainage Easements" or "D/E" shown on this plat are hereby dedicated for the purpose of constructing, using, replacing and maintaining a culvert, storm sewer, drainage ditch, or other drainage facility or tributary connections, including similar facilities, and appurtenances thereto, including the right to maintain, repair and replace the drainage facility and for any reconstruction and future expansion of such facility, together with the right of access for the same, is hereby dedicated for public use. Drainage Easements shall be kept clear of obstructions that impair the strength or interfere with the use and/or maintenance of storm drainage facilities. The maintenance and upkeep of said Easements shall be the responsibility of the individual owners of the lots whereupon said Easements are dedicated. Leavenworth County shall bear no responsibility for any maintenance and upkeep of said Easements.

Building Lines or Setback Lines (B.S.L.) are hereby established as shown on the accompanying plat and no building or portion thereof shall be built or constructed between this line and the street line.

### IN TESTIMONY WHEREOF,

We, the undersigned owners of NOVO-GRADAC ACRES, have set our hands this \_\_\_\_\_ day of \_\_\_\_\_, 2024.

GAYLE, JOSHUA & LARISSA  
PID NO. 182-04-...008.01

M. Susan Novo-Gradac - Trustee  
M SUSAN NOVO-GRADAC TRUST

### NOTARY CERTIFICATE:

Be it remembered that on this \_\_\_\_\_ day of \_\_\_\_\_, 2024, before me, a notary public in and for said County and State came M. Susan Novo-Gradac, Trustee of the M SUSAN NOVO-GRADAC TRUST to me personally known to be the same persons who executed the foregoing instrument of writing, and duly acknowledged the execution of same. In testimony whereof, I have hereunto set my hand and affixed my notary seal the day and year above written.

### NOTARY PUBLIC

My Commission Expires: \_\_\_\_\_ (seal)

### APPROVALS

We, the Leavenworth County Planning Commission, do hereby approve the foregoing plat of NOVO-GRADAC ACRES this \_\_\_\_\_ day of \_\_\_\_\_, 2024.

Secretary  
John Jacobson

Chairperson  
Marcus Major

COUNTY ENGINEER'S APPROVAL:  
The County Engineer's plat review is only for general conformance with the subdivision regulations as adopted by Leavenworth County. The County is not responsible for the accuracy and adequacy of the design, dimensions, elevations, and quantities.

County Engineer - Mitch Pleak

COUNTY COMMISSION APPROVAL:  
We, the Board of County Commissioners of Leavenworth County, Kansas, do hereby approve the foregoing plat of NOVO-GRADAC ACRES this \_\_\_\_\_ day of \_\_\_\_\_, 2024.

Chairperson  
Vicky Kaaz

County Clerk  
Attest: Janet Klasinski

BROWN, THOMAS A & MARY D  
PID NO. 182-04-...012.02

JASTER, JOHN E & BECKY A  
PID NO. 182-04-...013

BROWN, JOHN WILLIAM SR & LEAH L  
PID NO. 182-04-...014.01

### ZONING:

RR 2.5 - Rural Residential 2.5

### NOTES:

- This survey does not show ownership.
- All distances are calculated from measurements or measured this survey, unless otherwise noted.
- All recorded and measured distances are the same, unless otherwise noted.
- Error of Closure - 1 - 281730, 40.06 Acres, more or less
- Basis of Bearing - KS SPC North Zone 1501
- Monument Origin Unknown, unless otherwise noted.
- Existing and Proposed Lots for Residential Use.
- Road Record - See Survey
- Benchmark - NAVD83
- Project Benchmark (BM) - SE Cor. of Property - 1/2" Rebar Cap 655 - 970'
- Easements, if any, are created hereon or listed in referenced title commitment.
- Reference Recorded Deed Book 686 Page 1616.
- Utility Companies -
  - Water - Suburban
  - Electric - Evergy
  - Sewer - Septic / Lagoon
  - Gas - Propane / Natural Gas
- Reference Lawyer's Title File Number 46867 dated November 4, 2023.
- Property is not in a Special Flood Hazard Area per FEMA FIRM Map 20103C0350G dated July 16, 2015
- Building Setback Lines as shown hereon or noted below
  - All side yard setbacks - 15' (Accessory - 15')
  - All rear yard setbacks - 40' (Accessory - 15')
- Easements as per referenced Title Commitment are shown hereon, if any.
  - KCP&L / Westar Easement recorded as Document No. 2011R08073, as shown hereon.
  - Williams Telecommunications Company, recorded in Bk 597 Pg 220, not located this survey.
- Fence Lines do not necessarily denote the boundary line for the property.
- Reference Surveys:
  - MILES RANCH SUBDIVISION Doc # 2008P00016
  - TBM - Terry B. Melton Survey dated 1996 - no recording information

### RESTRICTIONS:

- All proposed structures within this plat shall comply with the Leavenworth County Zoning and Subdivision Regulations or zoning regulation jurisdiction.
- An Engineered Waste Disposal System may be required due to poor soil conditions.
- Erosion and sediment control measures shall be used when designing and constructing driveways and other structures. Re-vegetation of all disturbed areas shall be completed within 45 days after final grading.
- Lots are subject to the current Access Management Policy. Additional access limits as shown hereon.
- All structures built within this subdivision shall comply with Resolution 2020-39, or as amended.
- An exception to Article 50, Section 40.3.1. Lot-Depth to Lot-Width has been granted for Lot 2
- Lots 1 and 2 have a shared access to State Avenue. Maintenance of the access drive is shared between the appropriate lots.
- Structures that exist within the building setback line or platted easement. Any future building or expansion must comply with the building setback. If the structure is damaged greater than 51% it may not be rebuilt or restored on the existing location and must meet all setbacks
- No off-plat restrictions.

### LEGEND:

- - 1/2" Bar Set with Cap No. 1296
- - 1/2" Bar Found, unless otherwise noted.
- ( ) - Record / Deeded Distance
- U/E - Utility Easement
- D/E - Drainage Easement
- B.S.L. - Building Setback Line
- R/W - Permanent Dedicated Roadway Easement dedicated this plat
- ⊕ - Centerline
- ⊖ - Section Line
- BM - Benchmark
- POB - Point of Beginning
- POC - Point of Commencing
- NS - Not Set this Survey per agreement with client

REGISTER OF DEED CERTIFICATE:  
Filed for Record as Document No. \_\_\_\_\_ on this \_\_\_\_\_ day of \_\_\_\_\_, 2023 at \_\_\_\_\_ o'clock \_\_\_\_\_ M in the Office of the Register of Deeds of Leavenworth County, Kansas,

Register of Deeds - TerriLois G. Mashburn



Scale 1" = 100'

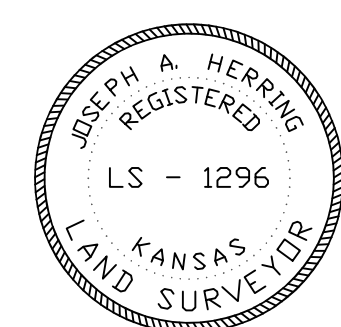
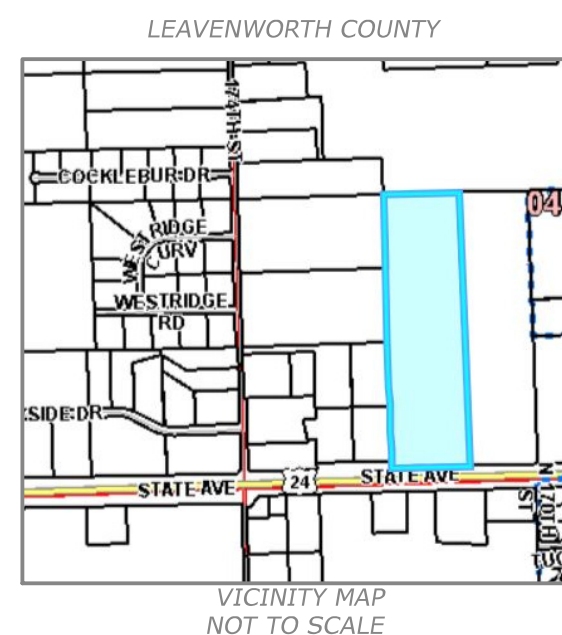
I hereby certify that this survey plat meets the requirements of K.S.A. 58-2005. The face of this survey plat was reviewed for compliance with Kansas Minimum Standards for Boundary Surveys. No field verification is implied. This review is for survey information only.

Daniel Baumchen, PS#1363  
County Surveyor

Job # K-23-1729  
November 24, 2023 Rev. 12/28/23

J. HERRING, Inc. (dba)  
SURVEYING  
COMPANY  
315 North 5th Street, Leav., KS 66048  
Ph. 913.661.3858 Fax 913.674.5381  
Email - survey@camcash.com

100 0 100 200 300  
1" = 100'



I hereby certify that this survey was made by me, or under my direct supervision, on the ground during the dates of October through November 2023 and this map or plat is correct to the best of my knowledge.

Joseph A. Herring  
PS # 1296



# NOVO-GRADAC ACRES

A Minor Subdivision in the Southwest Quarter of Section 4, Township 11 South, Range 22 East of the 6th P.M., Leavenworth County, Kansas.

## PRELIMINARY PLAT

PREPARED FOR:  
M SUSAN NOVO-GRADAC TRUST  
17208 STATE AVE  
BASEHOR, KS 66007  
PID # 182-04-0-00-00-014

DESCRIPTION:  
A tract of land in the East 1/2 of the Southwest 1/4 of Section 4, Township 11 South, Range 22 East of the 6th P.M., in Leavenworth County, Kansas, being more particularly described as follows:  
Commencing at the Southeast corner of said Southwest 1/4, the South line of said Southwest 1/4 having an assumed bearing of South 87 degrees 40'33" West; thence South 87 degrees 40'33" West along the South line of said Southwest 1/4, 1314.39 feet to the Southwest corner of the East 1/2 of said Southwest 1/4; thence North 01 degrees 44'18" West along the West line of the East 1/2 of said Southwest 1/4, 202.60 feet to the True Point of Beginning of the tract herein described; thence North 01 degrees 44'18" West along the West line of the East 1/2 of said Southwest 1/4, 2445.05 feet to the Northwest corner of the East 1/2 of said Southwest 1/4; thence North 87 degrees 51'35" East along the North line of said Southwest 1/4, 714.84 feet; thence South 01 degrees 40'04" East, parallel with the East line of said Southwest 1/4, 2446.33 feet to the North right of way line of US 24 Highway; thence South 87 degrees 57'38" West along the North right of way line of said US 24 Highway, 711.01 feet to the True Point of Beginning of the tract herein described, less any part thereof taken or used for road or highway purposes.

SAMBOL, IVAN & ANNE M  
PID NO. 182-04-...008

GAYLE, JOSHUA & LARISSA  
PID NO. 182-04-...008.01

BROWN, THOMAS A & MARY D  
PID NO. 182-04-...012.02

JASTER, JOHN E & BECKY A  
PID NO. 182-04-...013

MILES, DARLA A; TRUST  
PID NO. 182-04-...006.06  
LOT 1  
MILES RANCH SUBDIVISION  
Doc # 2008P0016

**1-03-24**  
**Olsson Review**  
**No Further**  
**Comment**

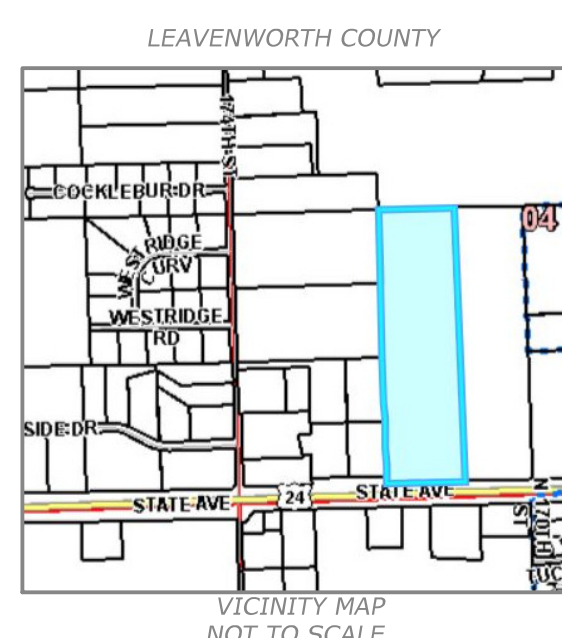
ZONING:  
RR 2.5 - Rural Residential 2.5

- NOTES:
- This survey does not show ownership.
  - All distances are calculated from measurements or measured this survey, unless otherwise noted.
  - All recorded and measured distances are the same, unless otherwise noted.
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  - Basis of Bearing - KS SPC North Zone 1501
  - Manumnet Origin Unknown, unless otherwise noted.
  - Existing and Proposed Lots for Residential Use.
  - Road Record - See Survey
  - Benchmark - NAVD88
  - Project Benchmark (BM) - SE Cor. of Property - 1/2" Rebar Cap 655 - 970'
  - Easements, if any, are created hereon or listed in referenced title commitment.
  - Reference Recorded Deed Book 686 Page 1616
  - Utility Companies -  
- Water - Suburban  
- Electric - Evergy  
- Sewer - Septic / Lagoon  
- Gas - Propane / Natural Gas
  - Reference Lawyer's Title File Number 46867 dated November 4, 2023.
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- Williams Telecommunications Company, recorded in Bk 597 Pg 220, not located this survey.
  - Fence Lines do not necessarily denote the boundary line for the property.
  - Reference Surveys:  
- MILES RANCH SUBDIVISION Doc # 2008P0016  
- TBM - Terry B. Melton Survey dated 1996 - no recording information

- RESTRICTIONS:
- All proposed structures within this plat shall comply with the Leavenworth County Zoning and Subdivision Regulations or zoning regulation jurisdiction.
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  - No off-plat restrictions.

BROWN, JOHN WILLIAM SR & LEAH L  
PID NO. 182-04-...014.01

- LEGEND:
- - 1/2" Bar Set with Cap No.1296
  - - 1/2" Bar Found, unless otherwise noted.
  - - Concrete Base to be Set around Point
  - △ - PK Nail Found in Place
  - ( ) - Record / Deeded Distance
  - U/E - Utility Easement
  - D/E - Drainage Easement
  - B.S.L. - Building Setback Line
  - R/W - Permanent Dedicated Roadway Easement dedicated this plat
  - CL - Centerline
  - SL - Section Line
  - BM - Benchmark
  - - DIRECTION OF WATER FLOW
  - ⊙ - Power Pole
  - X - Fence Line
  - OHP - Overhead Power Lines
  - T - Underground Telephone/Fiber Optic Line
  - ⊕ - Water Shut-off Valve, line is abandoned
  - ⊕ - Water Meter/Valve
  - ⊕ - Telephone Pedestal
  - W - 6" Water Line - location as per district
  - POB - Point of Beginning
  - POC - Point of Commencing
  - ~ - Tree/Brush Line
  - NS - Not Set this Survey per agreement with client



I hereby certify that this survey was made by me, or under my direct supervision, on the ground during the dates of October through November 2023 and this map or plat is correct to the best of my knowledge.

Joseph A. Herring  
PS # 1296



Scale 1" = 100'

Job # K-23-1729  
November 24, 2023 Rev. 12/28/23

J. HERRING, Inc. (dba)  
SURVEYING  
COMPANY  
315 North 5th Street, Leav., KS 66048  
Ph. 913.661.3858 Fax 913.674.5381  
Email - survey@camcash.com

100 0 100 200 300  
1" = 100'



December 4, 2023

Leavenworth County  
Planning and Zoning  
Leavenworth KS 66048

To Whom It May Concern:

Suburban Water's present distribution system has the capacity to provide domestic water service (5/8" meter) to land on State Avenue with Parcel ID 1820400000014, Leavenworth County, KS.

If you have questions, please contact me at 913-724-1800.

Sincerely,

Travis J Miles  
President

**From:** [Kyle Burkhardt](#)  
**Sent:** Monday, December 4, 2023 3:12 PM  
**To:** [Jim Godbout](#); [Johnson, Melissa](#); [Tyler Rebel](#); [Design Group Shawnee](#)  
**Subject:** RE: Nova Gradac Acres, 182-04-0-00-00-014.00

---

**Follow Up Flag:** FollowUp  
**Flag Status:** Completed

**Notice:** This email originated from outside this organization. Do not click on links or open attachments unless you trust the sender and know the content is safe.

Internal Use Only

Melissa

Evergy approves the following plat.

Thank you

**Kyle Burkhardt**  
Evergy  
TD Designer III  
O 785-508-2408  
[Kyle.Burkhardt@evergy.com](mailto:Kyle.Burkhardt@evergy.com)



---

**From:** Jim Godbout <[Jimmy.Godbout@evergy.com](mailto:Jimmy.Godbout@evergy.com)>  
**Sent:** Monday, December 4, 2023 2:24 PM  
**To:** Johnson, Melissa <[MJohnson@leavenworthcounty.gov](mailto:MJohnson@leavenworthcounty.gov)>; Tyler Rebel <[Tyler.Rebel@evergy.com](mailto:Tyler.Rebel@evergy.com)>; Design Group Shawnee <[DesignGroupShawnee@evergy.com](mailto:DesignGroupShawnee@evergy.com)>  
**Subject:** RE: Nova Gradac Acres, 182-04-0-00-00-014.00

Internal Use Only

Ms. Johnson,

Good afternoon. Would it be possible for you to send over a Plat of the Nova Gradac Acres so that we have something to reference?

Thanks,

Jimmy Lee Godbout

Jimmy Lee Godbout  
Evergy Kansas Central, Inc.  
Senior T&D Designer  
[jimmy.godbout@evergy.com](mailto:jimmy.godbout@evergy.com)  
O (785) 508-2868

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## Allison, Amy

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**From:** Krystal A. Voth <kvoth@cityofbasehor.org>  
**Sent:** Wednesday, December 6, 2023 4:50 PM  
**To:** Allison, Amy  
**Subject:** RE: DEV-23-148/149 Pre & Final Plat Novo-Gradac Acres Herring

**Notice:** This email originated from outside this organization. Do not click on links or open attachments unless you trust the sender and know the content is safe.

Amy,

Thanks for sending this over. I hope you are doing well.

The City has no comments.

Thanks,

Krystal

---

**From:** Allison, Amy <AAllison@leavenworthcounty.gov>  
**Sent:** Wednesday, December 6, 2023 4:12 PM  
**To:** Krystal A. Voth <kvoth@cityofbasehor.org>  
**Subject:** FW: DEV-23-148/149 Pre & Final Plat Novo-Gradac Acres Herring

Good Afternoon Krystal,

If you have any comments for the below listed plat, please let us know by December 19, 2023.

Thanks,  
Amy

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**From:** Johnson, Melissa <MJohnson@leavenworthcounty.gov>  
**Sent:** Tuesday, December 5, 2023 10:36 AM  
**To:** Magaha, Chuck <cmagaha@lvsheriff.org>; Miller, Jamie <JMiller@leavenworthcounty.gov>; Patzwald, Joshua <jpatzwald@lvsheriff.org>; Van Parys, David <DVanParys@leavenworthcounty.gov>; Brown, Misty <MBrown@leavenworthcounty.gov>; 'Steven.Taylor@KS.gov' <Steven.Taylor@KS.gov>; 'mpleak@olsson.com' <mpleak@olsson.com>; Noll, Bill <BNoll@leavenworthcounty.gov>; McAfee, Joe <JMcAfee@leavenworthcounty.gov>; Baumchen, Daniel <DBaumchen@leavenworthcounty.gov>  
**Cc:** PZ <PZ@leavenworthcounty.gov>  
**Subject:** DEV-23-148/149 Pre & Final Plat Novo-Gradac Acres Herring

The Leavenworth County Planning & Zoning Department has received a request for a Preliminary and Final Plat for Novo-Gradac Acres.

The Planning Staff would appreciate your written input in consideration of the above listed request. Please review the attached information and forward any comments to us by December 19, 2023.

If you have any questions or need additional information, please contact me at (913) 684-0465, [pz@leavenworthcounty.gov](mailto:pz@leavenworthcounty.gov).

# Leavenworth County Request for Board Action

**Date:** January 24, 2024

**To:** Board of County Commissioners

**From:** Thomas A. Cole, CEcD – Economic Development Administrator

**Department Head Approval:** \_\_\_\_\_

**Additional Reviews as needed:**

Budget Review  Administrator Review  Legal Review

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**Action Requested:**

The item requests the Board of County Commissioners approve a letter of support to add Miami County, Kansas into the Regional Economic Development Administration District as a region served by the Mid-America Regional Council.

**Recommendation:**

Staff recommends the Board of County Commissioners approve the letter of support to include Miami County, Kansas into the Regional EDA District which could enhance the volume of funding and future opportunities to the region. This item was regionally approved in 2014, but the EDA apparently failed to enter it into its system.

**Analysis:**

The Mid-America Regional Council was designated in 2006 by the Economic Development Administration as a regional Economic Development District. At the time, the region served by MARC included 8 counties. Miami County later joined MARC after EDA designated the district.

In 2014, the Mid-America Regional Council agreed to amend their Economic Development District boundary to include Miami County. They secured support from most of the local government officials in the form of letters and the state of Kansas also provided a letter supporting the addition. MARC submitted the required paperwork to the Denver regional EDA office. It seems that the EDA never took official action to add Miami County to our district. MARC has documentation that EDA received the paperwork, but regional EDA staff are now saying they should start the process over.

The EDA designation is important for our region for several reasons. The designation and our preparation of a Comprehensive Economic Development Strategy Plan (CEDS) enables local governments, nonprofit agencies and businesses to benefit from EDA's federal grant programs. The designation heightens awareness by site selection consultants and others about the economic opportunities in our region. It helps MARC in developing and sharing economic and workforce data with economic development and other stakeholders.

**Alternatives:**

The alternative would be to not assist Miami County in its potential inclusion into the Regional EDA District.

**Budgetary Impact:**

- Not Applicable
- Budgeted item with available funds
- Non-Budgeted item with available funds through prioritization

January 2, 2024

Mr. David A. Warm  
Executive Director  
Mid-America Regional Council  
600 Broadway, Suite 200  
Kansas City, Missouri 64105



RE: EDA Designation of Miami County as part of Kansas City Regional EDD

Dear Mr. Warm,

As chief elected official for Miami County, Kansas, I am providing this letter in support of action by the US Economic Development Administration (EDA) to add Miami County, Kansas, to the Kansas City Regional Economic Development District (EDD). We provided a similar letter in 2014, and both MARC and Miami County had anticipated EDA approval following that request. We have been an active participant in the economic development planning work undertaken by MARC since that time, and our county is incorporated in the current Comprehensive Economic Development Strategy Plan (CEDS). Our Economic Development Director, Janet McRae, has been an active participant as a member of the advisory committee guiding the preparation of the CEDS.

The Mid-America Regional Council Community Services Corporation formed the Kansas City Regional Economic Development District in 2006 to support the region's economic development efforts. With the designation, local communities and organizations are eligible to apply for EDA grants that serve disadvantaged workers or disadvantaged geographic portions of the Kansas City region. At the time that MARC CSC submitted the application for designation, its membership boundary area included only eight counties. Miami County, Kansas, became a member and part of the MARC region in 2007. Miami County considers itself an important part of the Kansas City region and recognizes the benefit of being included in the Kansas City area EDD.

We appreciate your consideration of this request to add Miami County, Kansas, to our region's Economic Development District.

Sincerely,

A handwritten signature in blue ink, appearing to read "Tyler Vaughan", is written over a horizontal line.

Tyler Vaughan  
Miami County Commission Chair



## COUNTY OF LEAVENWORTH

300 Walnut St., Suite 106  
Leavenworth, Kansas 66048-2725  
(913) 684-0412  
[www.leavenworthcounty.gov](http://www.leavenworthcounty.gov)

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January 24, 2024

Mr. David A. Warm  
Executive Director  
Mid-America Regional Council  
600 Broadway, Suite 200  
Kansas City, Missouri 64105

RE: EDA Designation of Miami County as part of Kansas City Regional EDD

Dear Mr. Warm,

As chief elected official for Leavenworth County, Kansas, I am pleased to offer this letter in support of action by the US Economic Development Administration (EDA) to add Miami County, Kansas, to the Kansas City Regional Economic Development District.

The Mid-America Regional Council Community Services Corporation formed the Kansas City Regional Economic Development District in 2006 to support the region's economic development efforts. With the designation, local communities and organizations are eligible to apply for EDA grants that serve disadvantaged workers or disadvantaged geographic portions of the Kansas City region. At the time that MARC CSC submitted the application for designation, its membership boundary area included only eight counties. Miami County, Kansas, became a member and part of the MARC region in 2007.

We appreciate your consideration of this request to add Miami County, Kansas, to our region's Economic Development District.

Sincerely,

Jeff Culbertson  
Chair, Leavenworth County Commission



# COUNTY OF LEAVENWORTH

300 Walnut St., Suite 106  
Leavenworth, Kansas 66048-2725  
(913) 684-0412  
[www.leavenworthcounty.gov](http://www.leavenworthcounty.gov)

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*From the office of Thomas A. Cole, Economic Development Administrator  
Email: [tcole@leavenworthcounty.gov](mailto:tcole@leavenworthcounty.gov)*

**January 24, 2024**

## **Quarterly Report**

### **Items of Interest:**

- Assisting numerous property owners evaluate future uses and reuses of large acreages. Planning, marketing and regulatory preparation.
- Relationship Enhancement and Frequent Contact with Leavenworth County Communities and Agencies
- Assisting Our Communities with Specific Initiatives
- Energy Efficiency and Conservation Block Grant – US Department of Energy (Awaiting Award) – Retrofit Efficient Lighting Systems at Justice Center
- Charging and Fueling Infrastructure Discretionary Grant Program – USDOT (Summer 2023 Submission)
- MARC Climate Action Priorities Workshop
- Purpose of Climate Action/Environmental Concerns
- Investigating applicability of Rural Business Development Grants (USDA) for local use
- Planning and Zoning Annual Comprehensive Plan Review/Update Economic Development Goals
- Working with a developer in pre-planning additional single-family homes and neighborhood commercial retail offerings



- Investigating the need for additional childcare offerings and if the County can play a role in attracting such services. Childcare is a leading driver in workforce development.
- Planning a Workshop for Entrepreneurship (Early 2024)
  - Business Plan
  - Marketing Plan
  - Finance Plan
  - Legal Structure
  - Real Estate Tips and Keys
- Attended a KU/Panasonic sponsored event detailing Japanese Business culture
- ICSC Retail Event (International Council of Shopping Centers) – May 2024
  - 35,000 Retailers/Developers/Real Estate Professionals
  - Planning event strategy and setting meetings with retailers and retail developers
- Industrial Site Visioning Committee – Business Park Committee (Port Authority / LCDC)
  - Meeting with Developers, Utility Companies, Regional Development Groups, General Site Analysis and Needs
  - Recommendation in Spring 2024
- MARC Goods Movement (Logistics) Committee
  - Regional Freight Study has commenced
  - Will identify primary and prevailing freight routes and needs
  - Planning Tool
- KCATA KCI Transit Advisory Stakeholder Committee
  - Evaluating the needs and desires of the region as larger events are becoming more prevalent in the KC Area
  - Workforce Transit for KCI Employees
  - Recommendations announced in Spring 2024

## Market Snapshot (12-Months To-Date – October 2022 to October 2023)

### Industrial

Inventory 4.6 million sf (approximate)

Vacancy Negligible +/- 1% - *Our market is full relative to existing buildings. Conversely, there's 15.5 million sf of available industrial space throughout the entire KC Metro.*

Projects and building sizes are increasing as supply chain issues proved to significantly hinder costs and availability since the pandemic. As such, we're seeing a shift from Just-In-Time production methods to a Just-In-Case approach. Resiliency is key: How well an industry can take a punch.

Rents Increased 6% to \$6.53/sf Average (year over year)

Increased 20.9% since 2019

### Retail

Inventory 2.8 million sf (approximate)

Vacancy 4.7%

Rents Increased 6.5% to \$13.40/sf Average (year over year)

Increased 18.2% since 2019

Retail continues to generally be in flux. Inventory losses and an epidemic of theft/lawlessness may push forth the establishment of "dark stores" in a variety of retail formats that previously hadn't contemplated such measures.

### Office

Inventory 1 million sf (approximate)

Vacancy 8.2% (down 3% from 1 year ago)

Rents Increased 2.6% to \$19.10/sf Average (year over year)

Increased 6.6% since 2019

## **Multi-Family Housing**

Inventory 1360 Units

Vacancy 9.6% (down 1% from 1 year ago)

Rents Increased 65.8% to \$1,040/month Average (year over year)

Increased 15% since 2019

***\*Data provided by Costar Data Analytics***



**4th Quarter 2023 – Public Works- October 2023 to December 2023**

**Road and Bridge**

- ❖ Aggregates Hauled:
  - Rock: 38,123.90 Tons
  - Trap Rock: 451.35 Tons
  - Asphalt: 400.59 Tons
  - Salt: 398.84 Tons
  - Sand: 1,231.15 Tons
  
- ❖ Calcium Chloride: 8,646.465 Gallons
  
- ❖ Culvert Replacements:
  - Entrances-16
  - Crossroad-8

**2023 Budgets- January 2023 to December 2023**

Road and Bridge	YTD \$11,651,128.30	Remaining \$401,903.70	3% remaining
Local Service	YTD \$4,097,313.87	Remaining \$265,911.13	6% remaining
Noxious Weed	YTD \$598,271.56	Remaining \$35,526.44	6% remaining
GIS	YTD \$306,385.22	Remaining \$25,749.78	8% remaining

**Personnel: 4<sup>th</sup> quarter**

- ❖ County Shop/Noxious Weed/GIS: 70 positions total
  - ◆ Full Time – 68 – CURRENTLY ALL FILLED.
  - ◆ IOC Position - 2 of which are currently vacant (Noxious Weed Assistant and Engineering Intern.

**Projects**

- A. 158<sup>th</sup> Street Road Improvement Project – MHS 2004 Design – Linaweaver Construction**
  - i. Retainage was reduced to 3% for seeding. Linaweaver’s request for full release of seeding was denied. Litigation is ongoing.
  - ii. King’s completed the seeding that they were contracted to do.
  - iii. Soma flew the site with the drone. Olsson continues to complete the SWPPP inspections.
  
- B. Bridge Replacement Designs (A-49, E-18, F-46, T-34) – Benesch – ARPA Funds**
  - i. A-49 – Bridge will be bid with T-34 in the next 30 days.



COUNTY OF LEAVENWORTH  
DEPARTMENT OF PUBLIC WORKS



- ii. T-34 – Bridge will be bid with A-49 in the next 30 days.

**C. Tonganoxie Road HRRR Safety Improvement Project – MHS design/inspection**

- i. 90/10 cost share grant – High Risk Rural Roads Program
- ii. KDOT pushed the project until to a November 2024 letting.
- iii. Contacted KDOT to determine whether or not our contract with MHS for inspection is valid now that they have been bought out by Benesch. We will be terminating this contract.
- iv. Waterline agreement has been finalized.

**D. Tonganoxie Road HRRR Safety Project – Phase 2 – SMH Design**

- i. Topo Survey is complete. Engineering is ongoing. Project is currently on schedule.

**E. CR30 – 235<sup>th</sup> Street Roadway Improvement Project – Wilson Design**

- i. RWD #9 has deposited their check. Karen Armstrong reported that work to relocate the line would start next week.
- ii. KDOT verbally agreed to extend our Cost Share Grant window if the federal government continues to move the Omni Bill forward in congress for our secondary funding.

**F. ST-26 Bridge Replacement Project – Finney and Turnipseed Design**

- i. Design plans are nearly complete.
- ii. Property acquisition documents were provided by Finney and Turnipseed. Land values are being determined and will be presented to the property owners.

**G. HP-36 Bridge Replacement Project – Finney and Turnipseed Design**

- i. Plans are complete.
- ii. The water district has not potholed their line but do not appear concerned with us hitting it. They said if we find the line during construction they will just move it then.
- iii. Finney and Turnipseed coordination is ongoing for a bid date.

**H. K-19 Bridge Replacement Project – Finney and Turnipseed Design**

- i. Design contract executed.
- ii. Design Topo was completed.
- iii. Met with Finney and Turnipseed to discuss completion times and the possible conflicts of the project with KDOT projects.

**I. Box Culvert and Large Culvert Replacement Project – A-6, A-66, H-29, H-30, K-5, K-17, K-37, R-24, SH-63, ST-56, ST-59, ST-60, E-UM4, K-46 – MHS Design – ARPA Funds**

- i. MHS has completed the survey work for all of the sites and is working on design. We have demanded a drop dead completion date of the plans as they are months behind schedule.
- ii. Julius Kaaz Construction was awarded the contract as the low bidder on three of the projects sites. ST-59, ST-60, and K-37. MHS-Benesch is under contract to complete inspection. Project is starting on K-37 on Logan Road on January 8<sup>th</sup>.
- iii. County Crews have completed A-66's replacement. ST-56 has had the culvert placed and is needing rip rap and grass seed.
- iv. K-5 on Happy Hollow Road is next to be completed by the county. It will require that a shoe fly is built while the culvert is being dug out and replaced. Happy Hollow has no other exits beyond this point.



# COUNTY OF LEAVENWORTH

## DEPARTMENT OF PUBLIC WORKS



### J. 2024 Biannual Bridge Inspections

- i. Finney and Turnipseed will be starting inspections in January.

### K. Regional Transportation Capital Improvement Plan and Study – Kimley Horn

- i. We are awaiting KDOT's announcement of the projects for the IKE Transportation Plan. The last update provided was that the announcement of projects will be in late February.

### L. KDOT Local Projects:

- i. **Kansas Cost-Share Program –**
  - i. KDOT has said they will extend our window for CR30 if needed.

### M. Federal Grant Projects:

- i. **Safe Streets for All Study**

The kick-off meeting was completed. The direction provided was that it is the county's intent to focus this study to best preparing our most eligible projects for funding opportunities.

## Noxious Weed

Noxious Weed 4th quarter update December 31,2023

Clearing brush out of rights-of-ways, bridges, intersections and culverts.

Boom mowers out cutting back brush.

Finished mowing rights-of-ways with mowers in December

Snow and ice removal on roadways on going

assist road and bridge in road maintenance

## Survey Department

Completed Easton Township survey, recorded as document #2024S001, [see attached map](#).

During the last quarter 4 section corners have been recovered, 24 corners have been set in Easton Township.

During the last quarter 24 section corners have been recovered in Kickapoo Township, [see attached map](#).

Filed 28 new Land Survey Reference Reports for Easton Township.

Filed 24 new Land Survey Reference Reports for Kickapoo Township.

Completed indexing Leavenworth County control monuments and NGS monuments, now available on GIS site, [see attached map](#).

Completed reviews of 21 plats/surveys.

Indexed 100 section corner tie reports.



COUNTY OF LEAVENWORTH  
DEPARTMENT OF PUBLIC WORKS



Uploaded to 40 Surveys & Plats to Survey record database.

## Fleet Management

Here are the vehicles from Enterprise that are currently on order:

Enterprise:

**Vehicles ordered but not delivered yet**

ENT #	New Vehicle#	Old Vehicle#	Department	Year	Make	Model	Vehicle Type
27MG67	10-15	10-15	Public Works	2024	Chevrolet	3500HD	Work Truck 4x4 Crew cab
	ADMIN1	ADMIN1)24842J	EMS	2024	Ford	Utility Police Int.	Explorer all wheel drive
	ADMIN2	ADMIN2)2483ZF	EMS	2024	Ford	Utility Police Int.	Explorer all wheel drive
27KWS4	ADMIN4	ADMIN4)2483ZC	EMS	2023	Ford	Utility Police Int.	Explorer all wheel drive
27DMXJ	04-01	04-01 23SLD7	B&G	2021	Ford	F-250	XL 4x4 SD Crew Cab 6.75 ft. box 160 in. WB SRW
27DMXF	04-00	04-00 23SLDH	B&G	2024	Ford	F-250	XL 4x4 SD Crew Cab 6.75 ft. box 160 in. WB SRW
27DMXV	10-08	10-08 23SBRB	Public Works	2021	Ford	F-250	XL 4x4 SD Crew Cab 6.75 ft. box 160 in. WB SRW
27HFRD	04-03	99 2483ZT	B&G	2024	Ford	F-350	4x4 SD crew cab 179"wb
27DMXT	06-02	06-02 23LTQZ	Solid Waste			F-250	XL 4x4 SD Crew Cab 6.75 ft. box 160 in. WB SRW

Nextran Vehicles ordered but not delivered:

One 2025 Mack MD& Mechanics Truck

One 2025 Mack MD6 Sign Truck

Two 2024 Mack Granite dump trucks w/ snowplow, wing plow, and sander.

## GIS Department Quarterly Performance

The Leavenworth County GIS department is dedicated to providing precise, up-to-date, and comprehensive maps and geospatial data to assist the county and its residents. We ensure weekly updates to all data, which are promptly accessible via the county's [launched website](#). Additionally, our commitment extends to daily updates on the [Integrity website](#), along with the creation of new data in [PDF, shapefile format, and CAD](#), all provided at no cost.

### **Accomplishments from the End of September 2023 to present**

- ✓ All public GIS layers have undergone updates on our [GIS web map](#) and [ArcGIS HUB](#). These updates encompass shapefiles and PDFs, enabling easy access and utilization for anyone with an internet connection.
- ✓ Updated the [Single-Family Residential building permit](#) web map for the Planning and Zoning Department and added all permits that were issued in the last three months.
- ✓ Collaborated with Maria Walser from MARC, Chief Callaghan, and Dan Porter from the City of Tonganoxie to address and resolve any issues related to addressing points for the City during our geocoding process for the first quarter.
- ✓ Updated Water Districts and sent an update to SAM to update our website.
- ✓ After receiving new section corners from Dan and Scott, I worked on updating the current section corner and quarter section line shapefiles in the north part of the county.
- ✓ Created Interlocal Agreement maps for the city of Basehor and Tonganoxie.
- ✓ Worked with the City of Tonganoxie about the Tax districts for the recently annexed parcels.



# COUNTY OF LEAVENWORTH

## DEPARTMENT OF PUBLIC WORKS



- ✓ [NGS-Leavenworth control points](#) Benchmarks have been updated.
- ✓ Created two maps for Leavenworth Schools
  - New zombie map for project
  - New county road map to be worked on by students
- ✓ Attended Active Transportation Programming Committee meeting with MARC.
- ✓ The Future Land Use layer was added to our Integrity website Per the Planning and Zoning Department.
- ✓ Updated the dispatch folder to update the ProSuite system.
- ✓ Curated and delivered address and parcel data for Reno and Sherman Township fire departments.
- ✓ Attended the MARC Aerial workgroup meeting to discuss bids and criteria.
- ✓ Updated and created 3-Year Cycle Projected Maintenance (2024 to 2026) for Gary Heim from the County Shop
- ✓ Updated parcel data, NG911, and shared it with MARC, ORKA, and PORKA FTP sites.
- ✓ Created a custom township map with fire stations for Chief Timothy Smith from Tonganoxie Township
- ✓ Updated a zoning map using the approved zoning changes list and created a Grayscale Zoning map for Planning and Zoning.
- ✓ Created a custom map for Tom Cole that showed Parcel acreage greater than 60 acres.
- ✓ Drone footage was captured of the completed Bridge E-48 and ST-100.
- ✓ Quarterly parcel updates (Split, Merge, and BLADE) have been sent to the Planning and Zoning and Appraiser's departments.
- ✓ Monthly photos of houses were sent to [SAM](#) for updating on the [Integrity website](#).
- ✓ Used Topology to fix Parcel and Road Centerline errors.
- ✓ Rectifying parcel boundary and subdivision errors using the topology tool.
- ✓ Adjusted parcel boundaries by referencing subdivision plats and survey records for improved accuracy.
- ✓ Fixed errors in the AgUse edit map.
- ✓ The privately-owned roads in Leavenworth County have undergone some updates, and a new Honeycutt Lane private road has been added to our NG911 database.
- ✓ Worked on fixing addressing and topology errors for NG911 data for the end-of-June submission.
- ✓ Worked with Susan and Jake from MARC to update their FTP site and sent them the most updated NG911 data
- ✓ Processed the sync of NG911 GIS and Parcel data with the LV city.
- ✓ Completed monthly permit / new address verification for each city.
- ✓ Created +20 map 250' buffer maps for Janet.
- ✓ Over Twenty-one (21) survey records were mapped and added to our GIS database and [Survey record](#) website.
- ✓ Created Quarterly "Parcel ownership Map" in 2'x3' and 3'x4' scales.
- ✓ Twelve (12) subdivision Plats were mapped and added to our GIS database and the Appraisal Subdivision layer.
- ✓
- ✓ MARC Aerial Project:
  - Graded and voted on vendor (Surdex)
  - Met Surdex to discuss the terms of contract
  - Proofed contract to be sent to Surdex
- ✓ MARC Trail Project:
  - Updated existing data to meet new MARC naming conventions
  - Creating new field for "paved shoulders" by georeferencing
- ✓ Sixteen (16) track splits/combinations/boundary line adjustments were made to the appraisal property database.
- ✓ Filled over fifty-five (55) requests from external organizations and walk-in patrons.
- ✓ Worked with the Registrar of Deeds on parcel correction, deed research, and boundary mapping.
- ✓ Over One hundred forty-one (141) new homesites were added to NG911 address points for use by EMS and fire departments and shared with Cities.





# COUNTY OF LEAVENWORTH

## DEPARTMENT OF PUBLIC WORKS



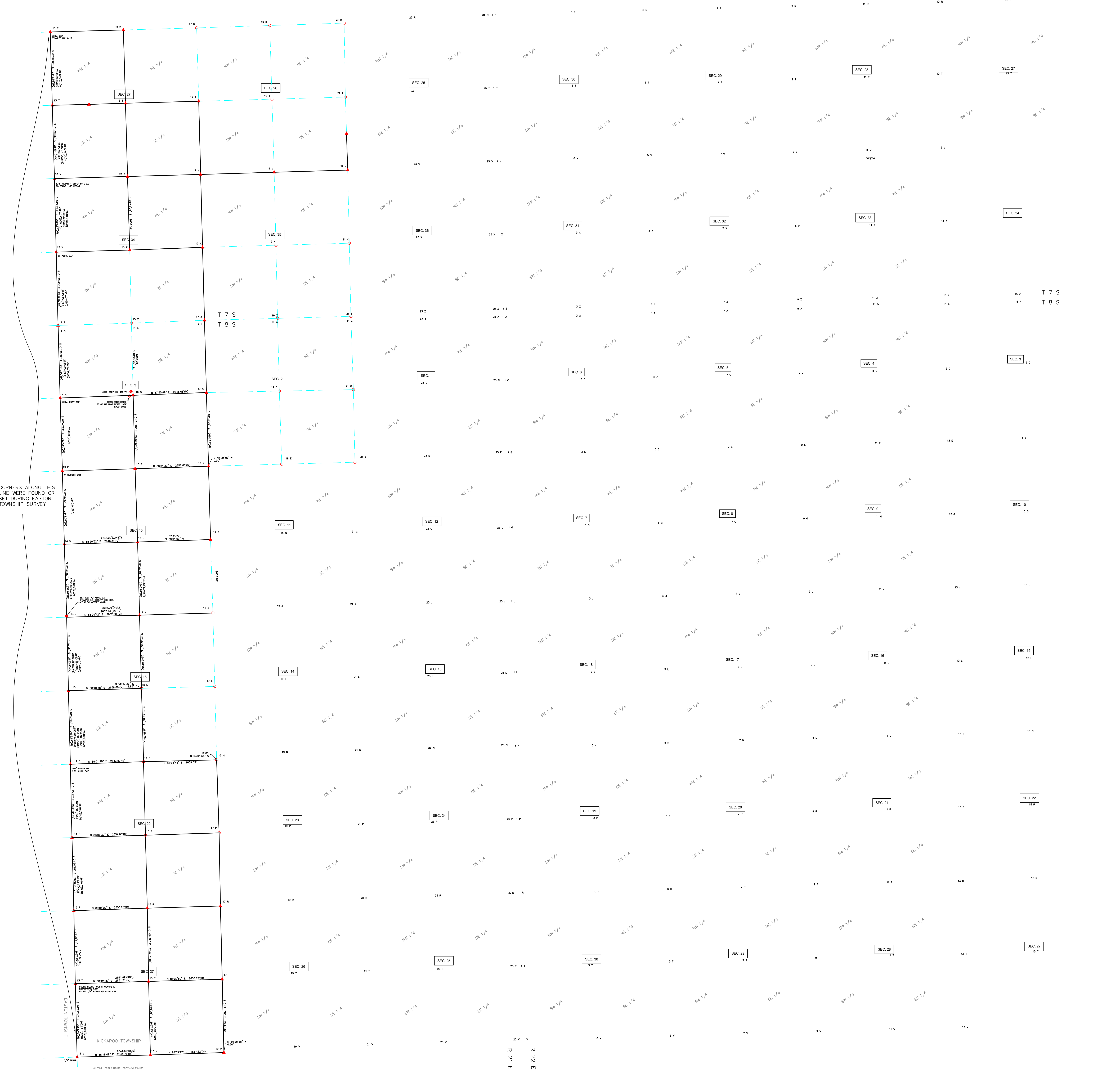
- ✓ Over Ten (10) Certified Property owner lists were made.
- ✓ One hundred Seventy-six (176) traffic accidents and Twenty (20) utility Permits.
- ✓ Eight hundred sixty-six (866) Road Records/Subdivisions were placed in the ROW Database, and one hundred forty-five (145) Road Files were created for the ROW Database.
- ✓ Reading and grading four proposals, roughly 250 pages in total.
  - Currently read and graded NV5 proposal.
  - Reading through Surdex.
- ✓ Four hundred thirty (430) traffic sign inventory., and Five (5 ) entrance permits were logged and mapped.
- ✓ Ninety (90) maps have been archived, and Three (3) right of way researches.
- ✓ Started working on Updating and creating 2024 maps.

### **Tasks in progress for Next Quarter**

- ↪ Working on adding Survey records from the 1930s, 1940s...
- ↪ Pre and post-Project Drone footage.
- ↪ Continue remapping parcel boundaries based on Plates, survey records, and legal deeds.
- ↪ Continue working on the Road Record database. This will include Book/Page, Right of Way, Historical Road Names, Dates of Dedication, and a visible GIS Polyline file for documentation.



R 22 E  
R 21 E



CORNERS ALONG THIS LINE WERE FOUND OR SET DURING EASTON TOWNSHIP SURVEY

T 7 S  
T 8 S

R 22 E  
R 21 E

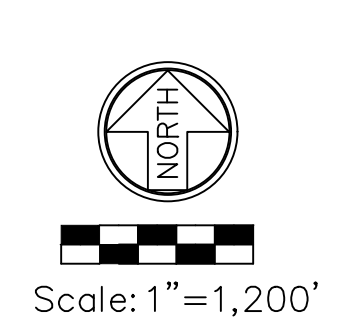
- LEGEND - KICKAPOO TOWNSHIP**
- Found Section Corner (1/2" Rebar, unless noted otherwise)
  - Set 1/2" Rebar w/ 3" Aluminum Cap, stamped Leavenworth County Section Corner (unless noted otherwise)
  - Unidentified Corner (To be Found or Set)
  - ◆ Existing Control Monument

**CERTIFICATION**  
 I certify that this plat map and the survey on which it is based, were prepared and conducted by me or under my direct supervision.

I hereby certify this survey plat meets the requirements of K.S.A. 58-2005. The face of this survey plat was reviewed for compliance with Kansas Minimum Standards for Boundary Surveys. No field verification is implied. This review is for survey information only.

William Noll, PS-1599  
 Leavenworth County Reviewer

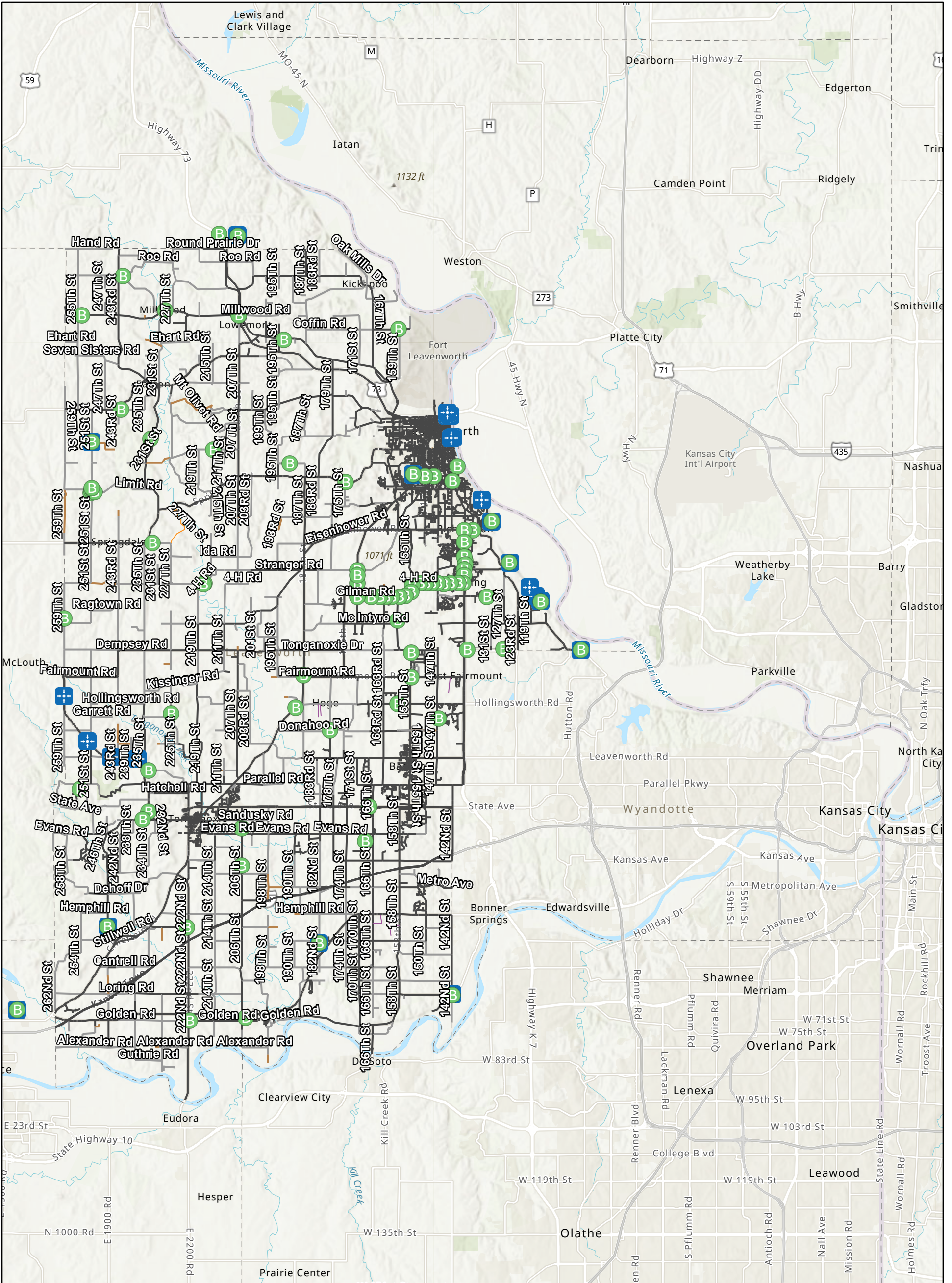
Daniel Baumchen, PS No.1363  
 Leavenworth County Surveyor



Leavenworth County  
 Survey Department  
 300 Walnut St., Suite 007  
 Leavenworth, KS 66048  
 913-684-0472

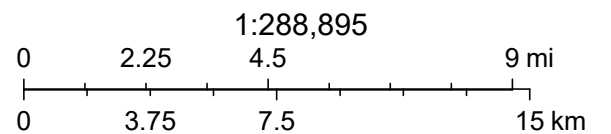
Scale: 1"=1,200'

# Public Works- Leavenworth County



10/30/2023, 10:39:40 AM

- B LVCO\_Benchmarks
- + NGS Benchmarks
- County\_Roads
- HARD SURFACE
- GRAVEL
- MINIMUM
- PRIVATE
- CLOSED RD



Missouri Dept. of Conservation, Missouri DNR, Esri, HERE, Garmin, SafeGraph, METI/NASA, USGS, EPA, NPS, USDA  
Esri, NASA, NGA, USGS